

# WYNDHAM GARDEN DANIA BEACH, FLORIDA 33034

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RE.SUBMITTAL FOR SITE PLAN REVIEW  
JULY 7, 2015

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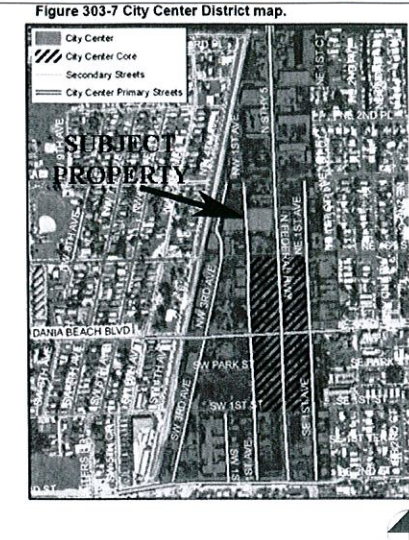
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## PROJECT LOCATION / LEGAL DESCRIPTION



**LEGAL DESCRIPTION:**  
 LOTS 9 AND 12, LESS THE EAST 8 FEET THEREOF, AND LOTS 10 AND 11, BLOCK 10, TOWN OF MODELO (NOW DANIA), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLATBOOK "B", PAGE 49, OF THE PUBLIC RECORDS OF DANIA COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.  
 LOTS 13, 14, 115, AND 16, LESS THE EAST 8 FEET OF LOTS 13 AND 16, BLOCK 10, TOWN OF MODELO (NOW DANIA), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLATBOOK "B", PAGE 49, OF THE PUBLIC RECORDS OF MIAMI-DADA COUNTY, FLORIDA.

### NET ACREAGE:

LOTS 9 - 12	20,200 SF	464 ACRE
LOTS 13 - 16	20,200 SF	464 ACRE
	40,400 SF	93 ACRE

### SETBACK DATA:

LOCATION	REQUIRED	PROVIDED
FRONT (EAST)	10	12'-11"
SIDE (NORTH)	0	5'-8"
SIDE (SOUTH)	0	8'-4"
REAR (WEST)	0	0

## PROJECT DESCRIPTION

THE PROJECT IS A WYNDHAM GARDEN INN LOCATED IN DANIA BEACH FLORIDA. THE PROJECT IS COMPRISED OF 142 GUESTROOMS DISTRIBUTED THROUGHOUT 7 STORIES WITH AN ADJACENT PARKING STRUCTURE. HOTEL GUEST AMENITIES THAT INCLUDE LOBBY FUNCTIONS, A MEETING ROOM, AND AN ELEVATED EXTERIOR POOL DECK WITH A GYM BUILDING ACCESSED FROM THE 3RD FLOOR. THE PRIMARY STRUCTURAL COMPONENTS WILL BE POST-TENSION SLABS WITH POURED CONCRETE COLUMNS AND CONCRETE BLOCK EXTERIOR WALLS.

### APPLICABLE CODES:

<b>ZONING:</b>	CITY OF DANIA BEACH MUNICIPAL CODE
<b>NEW CONSTRUCTION:</b>	FLORIDA BUILDING CODE, 2010 EDITION
<b>PLUMBING:</b>	FLORIDA BUILDING CODE, PLUMBING, 2010 EDITION
<b>MECHANICAL:</b>	FLORIDA BUILDING CODE, MECHANICAL, 2010 EDITION
<b>ELECTRICAL:</b>	NFPA 70-NATIONAL ELECTRICAL CODE
<b>FIRE:</b>	FLORIDA FIRE PREVENTION CODE, 2010 EDITION

### BUILDING CODE DATA:

**OCCUPANCY CLASSIFICATION GROUPS:**  
(FLORIDA BUILDING CODE, CHAPTER 3)

R-1 (HOTEL-TRANSIENT)
A-2 (BARS & RESTAURANTS)
A-3 (EXERCISE ROOM)
B (BUSINESS)
S (STORAGE)

## GUESTROOM SUMMARY:

ROOM TYPE	CONNECTING	VIEW		AREA	DOUBLE	KING	ADA			BATH			
		EXTERIOR VIEW	POOL VIEW				HC ACCESSIBLE	ADA - (SAF)	ADA - (SCF)	ADA SHOWER	ADA TUB	SHOWER	TUB
GUEST ROOM (ADA)	5	2	4	2,131 SF	0	6	6	0	0	6	0	0	0
GUEST ROOM (DOUBLE)	26	36	42	23,501 SF	78	0	0	0	0	0	0	18	48
GUEST ROOM (KING)	21	46	11	16,047 SF	0	57	0	0	0	0	0	42	5
GUEST SUITE - ACCESSIBLE	0	0	1	619 SF	0	1	0	0	0	0	0	1	0
<b>GRAND TOTAL: 142</b>	<b>52</b>	<b>84</b>	<b>58</b>	<b>42,298 SF</b>	<b>78</b>	<b>64</b>	<b>6</b>	<b>0</b>	<b>0</b>	<b>6</b>	<b>0</b>	<b>61</b>	<b>53</b>

### PARKING DATA:

**PARKING REQUIRED USE**

142 GUEST ROOM KEYS	80% OF GUEST ROOMS (AUTOMOBILES)	114
RESTAURANT / SUSHI	480 SF (1 CAR / 200 SF)	2
	10% OF HOTEL GUEST ROOMS (BICYCLES)	15
		<b>116 PARKING SPACES REQUIRED</b>

**PARKING PROVIDED (ON-SITE)**

GROUND PARKING	109 SPACES PROVIDED ON-SITE
9' x 18'	5 SPACES (ADJACENT STREET PARKING)
12' x 18' HC	114 SPACES TOTAL PARKING PROVIDED
INTERMEDIATE PARKING LEVEL	116 SPACES REQUIRED
9' x 18' - 90 deg	2 SPACES (TO BE PURCHASED FROM THE CITY)
9' x 18'	
UPPER PARKING LEVEL	
9' x 18'	
PARKING SPACES PROVIDED	<b>109</b>

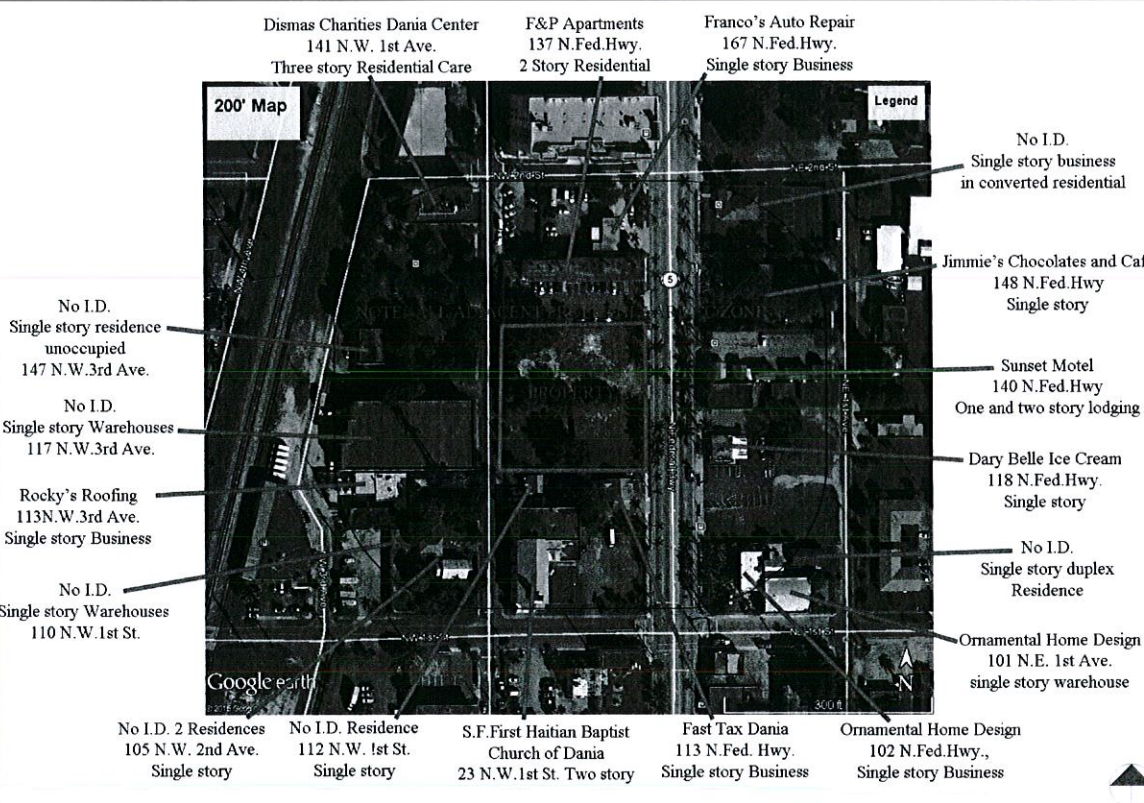
**PARKING DEFICIT (ON-SITE)**

	5 SPACES (ADJACENT STREET PARKING)
	114 SPACES TOTAL PARKING PROVIDED
	116 SPACES REQUIRED
	2 SPACES (TO BE PURCHASED FROM THE CITY)

**BICYCLE PARKING PROVIDED**

LOWER PARKING LEVEL	
5 BICYCLE RACK	3
BICYCLE SPACES PROVIDED	<b>15</b>

### ZONING MAP:



## PROJECT COMPONENTS:

**BUILDING AREAS (GROSS)**

1st FLOOR	
HOTEL	7,728 SF
2nd FLOOR	
HOTEL	10,588 SF
3rd FLOOR	
HOTEL	0 SF
4th FLOOR	
HOTEL	10,335 SF
5th FLOOR	
HOTEL	10,335 SF
6th FLOOR	
HOTEL	10,545 SF
7th FLOOR	
HOTEL	7,738 SF
<b>BUILDING AREA</b>	<b>57,268 SF</b>

**LOT COVERAGE**

HOTEL FOOTPRINT	10,588 SF	26%
PARKING / AMENITY DECK	22,739 SF	56%
<b>LOT COVERAGE</b>		<b>82%</b>

**PERVIOUS / GREEN AREA (NET)**

WGI - PERVIOUS AREA	3,234 SF	8.2%
	537 SF	1.4%
	315 SF	0.8%
	4,085 SF	10.3%

### BUILDING HEIGHT

LEVEL	FINISH FLOOR ELEVATION	NAVD
1st FLOOR	0' - 0"	12' - 4"
GROUND FLOOR	0' - 0"	12' - 4"
2nd FLOOR	16' - 4"	28' - 8"
3rd FLOOR	25' - 8"	38' - 0"
4th FLOOR	35' - 0"	47' - 4"
5th FLOOR	44' - 4"	56' - 8"
6th FLOOR	53' - 8"	66' - 0"
7th FLOOR	63' - 0"	75' - 4"
ROOF	72' - 4"	84' - 8"
TOP OF PARAPET	76' - 10"	89' - 2"
TOP OF TOWER	87' - 6"	99' - 10"

### PARKING AREAS (GROSS)

INTERMEDIATE PARKING LEVEL	22,739 SF
UPPER PARKING DECK	10,303 SF
<b>PARKING AREA</b>	<b>33,042 SF</b>

### AMENITY AREAS

FITNESS CENTER	392 SF
POOL DECK	3,223 SF
AMENITY AREA	3,615 SF

### DENSITY:

**LAND AREA**

GROSS LOT AREA:	40,400 SF (93 ACRES)
NET SITE AREA (MINUS RIGHT-OF-WAYS):	39,600 SF

**FLOOR AREA RATIO (FAR):**

BUILDING TOTAL AREA	67,878 SF (INTERIOR)
DIVIDED BY LAND AREA=	40,400
	= 1.68 FAR

### NOTES:

- BUILDING WILL MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE SECTION 403 FOR HIGH RISE.
- A REQUEST IS BEING MADE FOR 67,878 SF FROM THE RAC TO BE ALLOCATED FOR THIS 142 ROOM HOTEL.
- BUILDING FRONTAGE IS A COLONADE IN RESPONSE TO THE MASTER PLAN SET FORTH BY THE COMMUNITY REDEVELOPMENT AGENCY (CRA).
- BUILDING DESIGN AND MASSING HAS BEEN REVIEWED BY THE CITY COMMUNITY DEVELOPMENT DEPARTMENT FOR COMPLIANCE WITH SEC. 525-30 MASSING AND ARTICULATION OF THE LAND DEVELOPMENT CODE.
- MAIN BUILDING ELEVATION IS IN ACCORDANCE WITH SECTION 5.10.30H OF THE DANIA BEACH LAND DEVELOPMENT CODE. GLASS FRONTAGE IS 50% (531 S.F.) OF CALCULATED ZONE (1,055 S.F.). ZONE IS MEASURED FROM 2'-6" A.F.F. TO 8'-0" A.F.F. FOR THE LENGTH OF BUILDING.

### VARIATIONS:

PER SECTION 265-92, THIS SUBMITTAL IS BASED ON APPROVAL OF (8) EIGHT OFF-STREET PARKING SPACES THROUGH PAYMENT IN LIEU.  
 PER SECTION 301-50, THIS SUBMITTAL IS BASED ON APPROVAL OF A DESIGN VARIATION FROM THE LANDSCAPE BUFFER REQUIRED IN SECTION 275-110(D).

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### SEAL:

**ISSUED FOR:** Project Status

**DATE:** Issue Date

### REVISIONS:

No.	DATE	REMARKS

### SHEET TITLE:

PROJECT DATA

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**DATE:** 04/23/15

**SCALE:**

**DRAWN BY:** Author

**CHECKED BY:** Checker

**JOB NO.:** 44.07A

### SHEET NO.:

A.0.0.01

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**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
**GUESTROOM MATRIX**

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**JOB NO.:** 44.07A

**SHEET NO.:**

**A.0.0.02**

**GUESTROOM MATRIX**

ROOM NUMBER	ROOM TYPE	VIEW			AREA	DOUBLE	KING	HANDICAPPED ACCESSIBLE ROOM	ADA			BATH		
		CONNECTING	EXTERIOR VIEW	POOL VIEW					ADA - SPECIAL ACCESS. FEATURES (SAF)	ADA - SPECIAL COMM FEATURES (SCF)	ADA ROLL-IN SHOWER	ADA TUB	SHOWER	TUB
<b>2nd FLOOR:</b>														
2001	GUEST ROOM (KING)		1		282 SF		1							1
2002	GUEST ROOM (ADA)	1	1	1	371 SF			1	1					
2003	GUEST ROOM (KING)		1		281 SF									1
2004	GUEST ROOM (DOUBLE)	1	1	1	298 SF	1	1							1
2005	GUEST ROOM (KING)		1		282 SF		1							1
2007	GUEST ROOM (DOUBLE)		1		301 SF	1								1
2009	GUEST ROOM (DOUBLE)		1		301 SF	1								1
2010	GUEST ROOM (DOUBLE)		1	1	301 SF	1								1
2011	GUEST ROOM (KING)		1		281 SF		1							1
2012	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
2013	GUEST ROOM (KING)		1		281 SF		1							1
2014	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
2015	GUEST ROOM (KING)	1	1		281 SF		1							1
2016	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
2017	GUEST ROOM (DOUBLE)	1	1		301 SF	1								1
2018	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
2019	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
2020	GUEST ROOM (KING)	1	1	1	282 SF		1							1
2021	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
2022	GUEST ROOM (KING)	1	1	1	282 SF		1							1
2023	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
2024	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
2025	GUEST ROOM (KING)	1	1	1	281 SF		1							1
2026	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
2027	GUEST ROOM (KING)		1		282 SF		1							1
2029	GUEST ROOM (KING)		1		282 SF		1							1
<b>2nd FLOOR: 26</b>		<b>10</b>	<b>15</b>	<b>11</b>	<b>7,687 SF</b>	<b>14</b>	<b>12</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>11</b>	<b>10</b>
<b>3rd FLOOR:</b>														
3001	GUEST ROOM (KING)		1		282 SF		1							1
3002	GUEST ROOM (ADA)	1	1	1	372 SF			1	1					1
3003	GUEST ROOM (KING)		1		281 SF		1							1
3004	GUEST ROOM (DOUBLE)	1	1	1	298 SF	1	1							1
3005	GUEST ROOM (KING)		1		282 SF		1							1
3007	GUEST ROOM (DOUBLE)		1		301 SF	1								1
3009	GUEST ROOM (DOUBLE)		1		301 SF	1								1
3010	GUEST ROOM (DOUBLE)		1	1	301 SF	1								1
3011	GUEST ROOM (KING)		1		281 SF		1							1
3012	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
3013	GUEST ROOM (KING)		1		281 SF		1							1
3014	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
3015	GUEST ROOM (KING)	1	1	1	281 SF		1							1
3016	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
3017	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
3018	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
3019	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
3020	GUEST ROOM (KING)	1	1	1	282 SF		1							1
3021	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
3022	GUEST ROOM (KING)	1	1	1	282 SF		1							1
3023	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
3024	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
3025	GUEST ROOM (KING)	1	1	1	281 SF		1							1
3026	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
3027	GUEST ROOM (KING)		1		282 SF		1							1
3029	GUEST ROOM (KING)		1		282 SF		1							1
<b>3rd FLOOR: 26</b>		<b>10</b>	<b>15</b>	<b>11</b>	<b>7,687 SF</b>	<b>14</b>	<b>12</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>11</b>	<b>10</b>
<b>4th FLOOR:</b>														
4001	GUEST ROOM (KING)		1		282 SF		1							1
4002	GUEST ROOM (ADA)	1	1	1	371 SF			1	1					1
4003	GUEST ROOM (KING)		1		281 SF		1							1
4004	GUEST ROOM (DOUBLE)	1	1	1	298 SF	1	1							1
4005	GUEST ROOM (KING)		1		282 SF		1							1
4007	GUEST ROOM (DOUBLE)		1		301 SF	1								1
4009	GUEST ROOM (DOUBLE)		1		301 SF	1								1
4010	GUEST ROOM (DOUBLE)		1	1	301 SF	1								1
4011	GUEST ROOM (KING)		1		281 SF		1							1
4012	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
4013	GUEST ROOM (KING)		1		281 SF		1							1
4014	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
4015	GUEST ROOM (KING)	1	1	1	281 SF		1							1
4016	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
4017	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
4018	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
4019	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
4020	GUEST ROOM (KING)	1	1	1	282 SF		1							1
4021	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
4022	GUEST ROOM (KING)	1	1	1	282 SF		1							1
4023	GUEST ROOM (DOUBLE)	1	1	1	301 SF	1								1
4024	GUEST ROOM (DOUBLE)	1	1	1	302 SF	1								1
4025	GUEST ROOM (KING)	1	1	1	281 SF		1							1
4026	GUEST ROOM (DOUBLE)		1	1	302 SF	1								1
4027	GUEST ROOM (KING)		1		282 SF		1							1
4029	GUEST ROOM (KING)		1		282 SF		1							1
<b>4th FLOOR: 26</b>		<b>10</b>	<b>15</b>	<b>11</b>	<b>7,687 SF</b>	<b>14</b>	<b>12</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>11</b>	<b>10</b>

**GUESTROOM MATRIX**

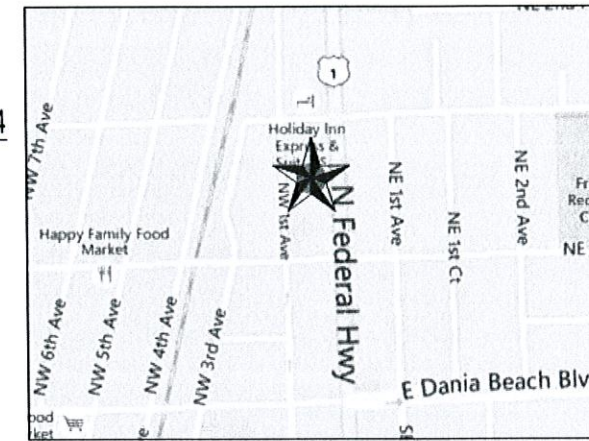
ROOM NUMBER	ROOM TYPE	VIEW			AREA	DOUBLE	KING	HANDICAPPED ACCESSIBLE ROOM	ADA			BATH		
		CONNECTING	EXTERIOR VIEW	POOL VIEW					ADA - SPECIAL ACCESS. FEATURES (SAF)	ADA - SPECIAL COMM FEATURES (SCF)	ADA ROLL-IN SHOWER	ADA TUB	SHOWER	TUB
<b>5th FLOOR:</b>														
5001	GUEST ROOM (KING)		1		282 SF		1							1
5002	GUEST ROOM (ADA)	1	1	1	371 SF			1	1					1
5003	GUEST ROOM (KING)		1		281 SF		1							1
5004	GUEST ROOM (DOUBLE)	1	1	1	298 SF	1	1							1
5005	GUEST ROOM (KING)		1		282 SF		1							1
5007	GUEST ROOM (DOUBLE)		1		301 SF	1								1
5009	GUEST ROOM (DOUBLE)		1		301 SF	1								1
5010	GUEST ROOM (DOUBLE)		1	1	301 SF	1								1
5011	GUEST ROOM (KING)		1		281 SF		1							1
5012														



**LEGAL DESCRIPTION**

LOTS 13, 14, 15, AND 16, LESS THE EAST 8 FEET OF LOTS 13 AND 16, BLOCK 10, TOWN OF MODELO (NOW DANIA), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 49, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

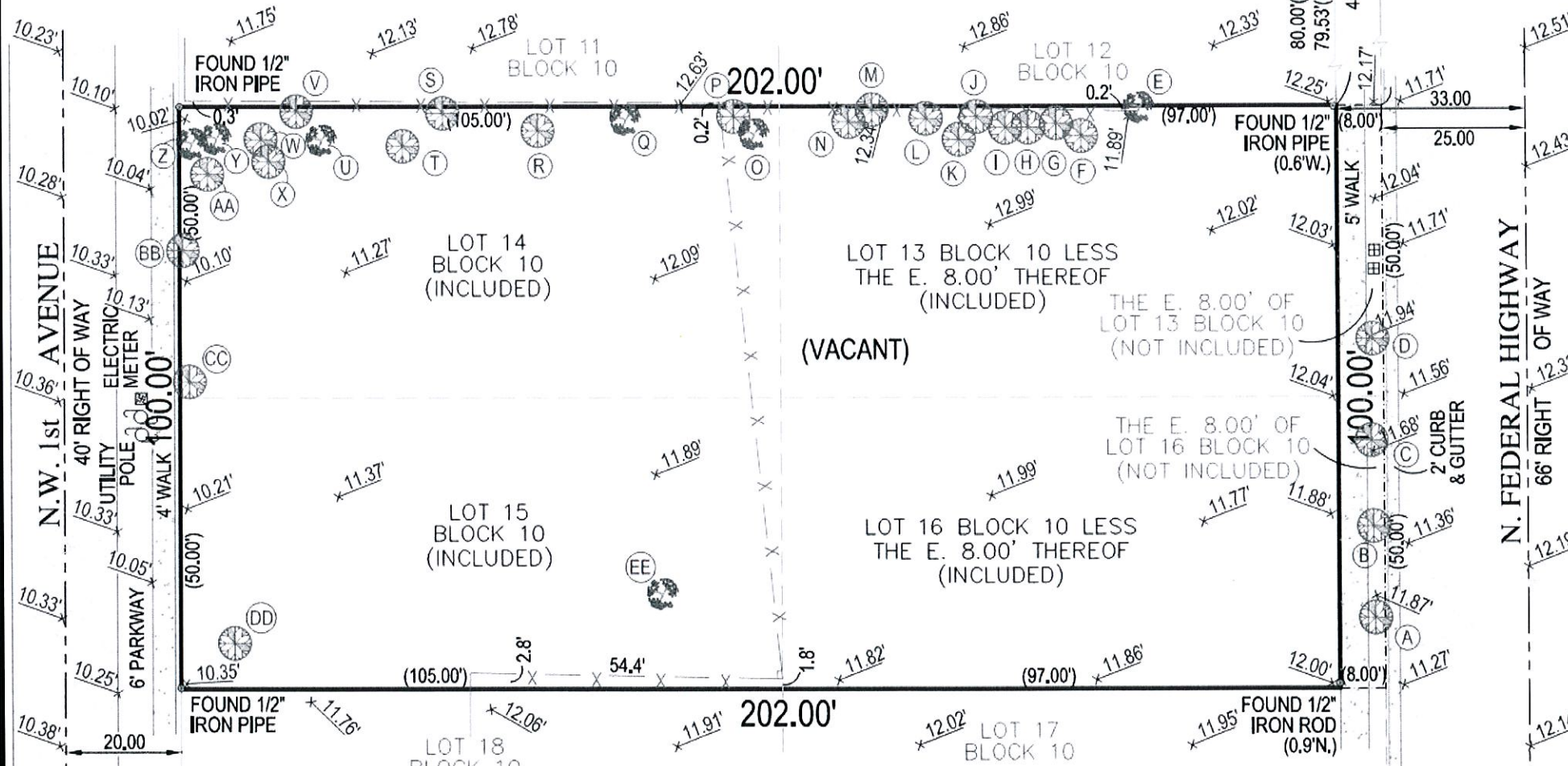
ORIGINAL FIELD WORK COMPLETED BY:  
 TARGET SURVEYING, LLC.  
 SURVEY NUMBER: 209308 DATED: 7-16-2014



LOCATION MAP  
NOT TO SCALE

**LEGEND**

A/C	AIR CONDITIONER	O.R.B.	OFFICIAL RECORDS BOOK
C.B.S.	CONCRETE BLOCK STRUCTURE	P	PLAT
EL	ELEVATION	PSM	PROFESSIONAL SURVEYOR AND MAPPER
F.F.	FINISHED FLOOR	P.R.M.	PERMANENT REFERENCE MONUMENT
F	FOUND	PG.	PAGE
I.D.	IDENTIFICATION	P.B.	PLAT BOOK
L	LENGTH	PK	PARKER KYLON NAIL
L.B.	LICENSED BUSINESS	R	RADIUS
M	MEASURED	T.B.M.	TEMPORARY BENCH MARK
N.T.S.	NOT TO SCALE	CL	CENTERLINE
N&D	NAIL & DISC	&	AND
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	Δ	DELTA OR CENTRAL ANGLE
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	CONCRETE	CONCRETE



TREE IDENTIFICATION			
DESCRIPTOR	TYPE	CALIPER	CANOPY
A	PALM TREE	0.7'	7.0'
B	PALM TREE	2.8'	13.0'
C	PALM TREE	2.8'	14.0'
D	PALM TREE	2.0'	15.0'
E	MISC TREE	0.7'	5.0'
F	PALM TREE	0.7'	5.0'
G	PALM TREE	0.7'	5.0'
H	PALM TREE	1.0'	7.0'
I	PALM TREE	1.0'	7.0'
J	PALM TREE	1.8'	13.0'
K	PALM TREE	1.9'	14.0'
L	PALM TREE	2.0'	15.0'
M	PALM TREE	1.0'	7.0'
N	PALM TREE	1.0'	8.0'
O	TREE CLUSTER	3.0'	16.0'
P	PALM TREE	1.4'	13.0'
Q	MISC TREE	2.0'	22.0'
R	PALM TREE	1.5'	9.0'
S	PALM TREE	1.4'	8.0'
T	PALM TREE	1.5'	11.0'
U	MISC TREE	2.0'	25.0'
V	MISC TREE	1.5'	22.0'
W	BANYON TREE	4.0'	31.0'
X	PALM TREE	0.5'	3.0'
Y	TREE CLUSTER	2.0'	15.0'
Z	TREE CLUSTER	1.0'	10.0'
AA	PALM TREE	0.3'	3.0'
BB	PALM TREE	1.2'	6.0'
CC	PALM TREE	1.5'	6.5'
DD	PALM TREE	1.4'	15.0'
EE	MISC TREE	8.0'	35.0'

FLOOD ZONE: X  
 COMMUNITY NUMBER: 120034  
 PANEL: 0309  
 SUFFIX: F

**ORIGINATION BENCHMARK**  
 BROWARD COUNTY  
 BENCHMARK "1893"  
 N.A.V.D. ELEVATION = 15.781'

- NOTES:**
- LEGAL DESCRIPTION PROVIDE BY CLIENT
  - NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
  - NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
  - ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

**Clyde O. McNeal PSM #2883**

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

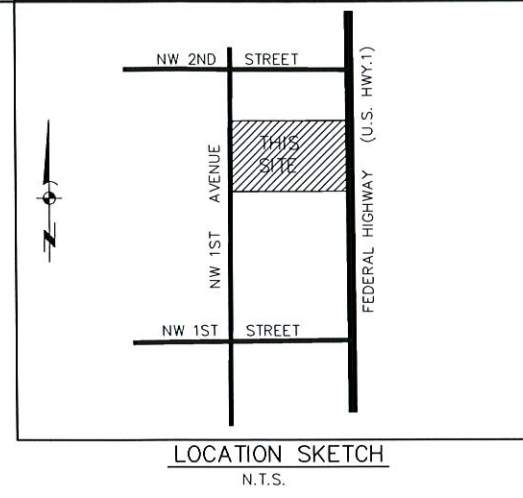
BOUNDARY SURVEY, TOPOGRAPHY & TREE LOCATION OF  
 XXX NORTH FEDERAL HIGHWAY  
 DANIA, FLORIDA 33004  
 PREPARED FOR  
 ADI GROUP, LLC.

Project	C-13086	Sheet	
Date	03-25-2015	1 of 1	
Scale	1"=25'		

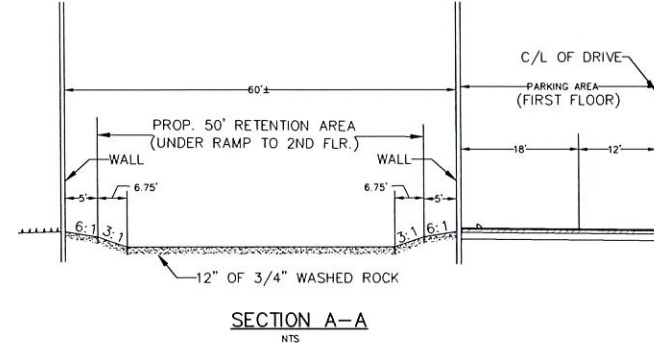
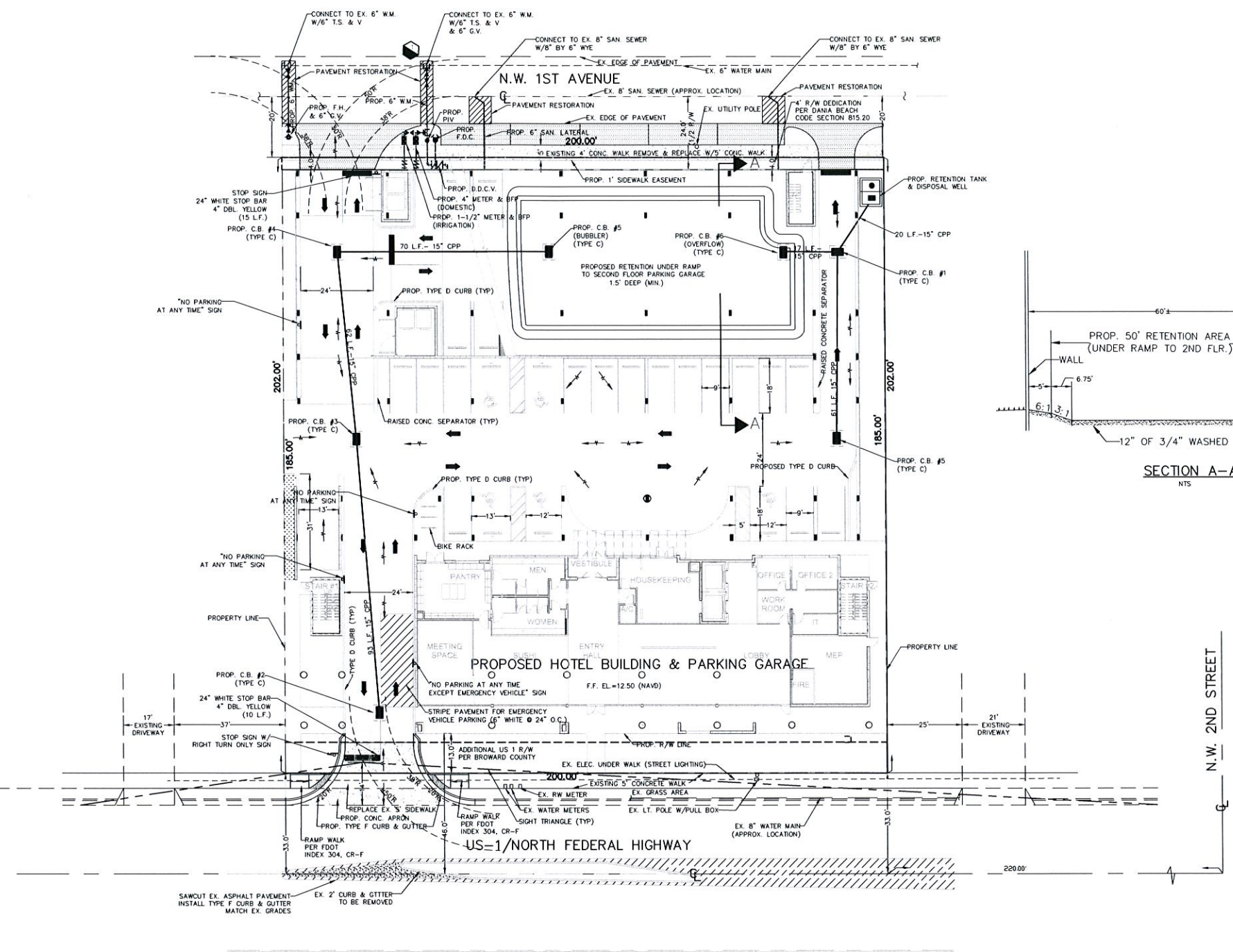
6250 N. MILITARY TRAIL  
 SUITE 102  
 WEST PALM BEACH, FL 33407  
 www.compassurveying.net



PHONE: 561.640.4800 FAX: 561.640.0576  
 L.B. 7463



DIVERSIFIED CONSTRUCTION  
**DCES**  
 & ENGINEERING SERVICES  
 2795 N.W. CORPORATE BLVD. #125 BOCA RATON, FL 33431  
 561-750-3717 FAX 561-750-3686  
 EB #6459



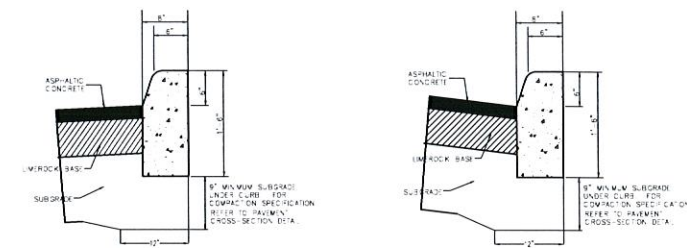
REVISIONS	DATE	DWN.:	CHK.:
1.			
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**WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034  
**CONCEPTUAL  
 SITE ENGINEERING PLAN**

**DCES**  
 SCALE: 1"=20'  
 DATE: 6-4-15  
 DWN. BY: M.K.  
 CHK. BY: N.B.J.  
 F.B. PG.  
 JOB NO.:  
 2086-14  
 SHEET: C-1 OF 2

- LEGEND**
- INDICATES DIRECTION OF FLOW
  - PROPOSED CATCH BASIN
  - ⊕ PROPOSED FIRE HYDRANT & VALVE
  - ▨ INDICATES PROPOSED LANDSCAPE AREA

DISCLAIMER  
 INFORMATION SHOWN ON THIS PLAN  
 IS A GRAPHIC REPRESENTATION ONLY  
 AND IS NOT TO BE USED IN LIEU OF  
 A HORIZONTAL CONTROL PLAN.

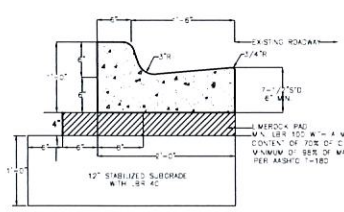


**TYPE "D" CURB DETAIL  
THROW CURB**  
N.T.S.

CONCRETE FOR CURB SHALL HAVE 28 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I.

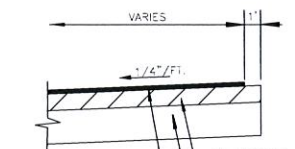
**TYPE "D" CURB DETAIL  
CATCH CURB**  
N.T.S.

CONCRETE FOR CURB SHALL HAVE 28 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I.



**TYPE "D" CURB AND GUTTER**  
N.T.S.

CONCRETE FOR CURB SHALL HAVE 28 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I.

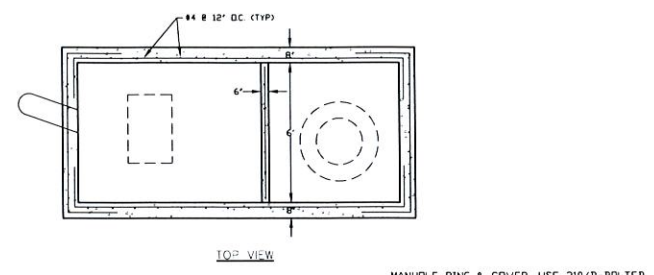


**PROPOSED PAVEMENT SECTION**  
N.T.S.

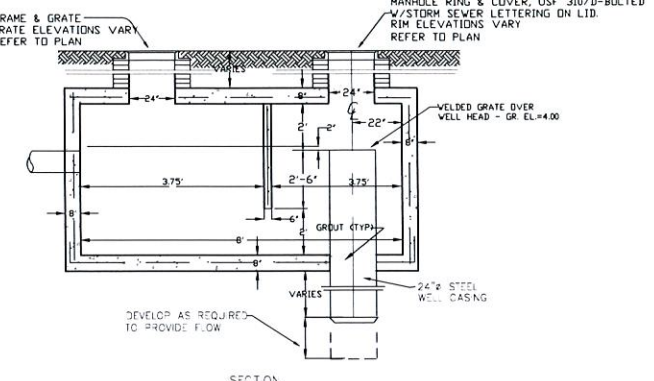
1.5" (M.N.) COMPACTED TYPE II ASP. CONC. (2- 3/4" - 5" W/TEMPORARY STRIPING, THE FINAL 1.5" TO BE PLACED AFTER FINAL LANDSCAPING IS INSTALLED)

6" LAYER OF 6" BASE, PRIVED, COMPACTED TO A MINIMUM OF 98% OF MAXIMUM DENSITY WITH A MINIMUM CALCIUM CARBONATE CONTENT OF 60%

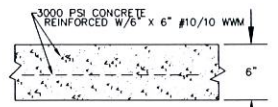
12" SUBGRADE COMPACTED TO A MINIMUM OF 98% OF MAXIMUM DENSITY WITH AN LB OF 40



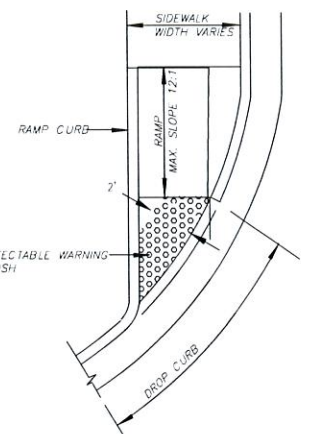
**TYPICAL RETENTION TANK AND DISPOSAL WELL**  
N.T.S.



**TYPICAL RETENTION TANK AND DISPOSAL WELL**  
N.T.S.

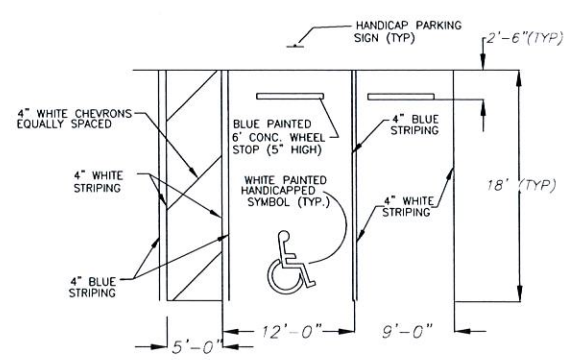


**CONCRETE SLAB SECTION**  
N.T.S.



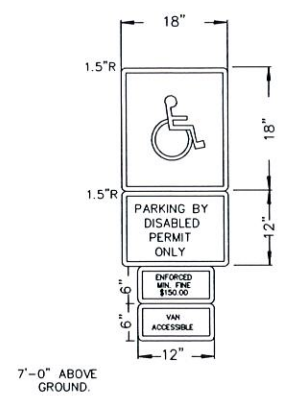
**TYPICAL PLACEMENT OF DETECTABLE WARNING AT CURB RAMP FDOT INDEX 304, CR-F**  
N.T.S.

ON LANDINGS AND FLUSH TRANSITIONS AT RADIUS RETURNS ROWS OF DOMES ARE NOT REQUIRED TO BE ADJACENT WITH THE CENTERLINE OF THE RAMP.



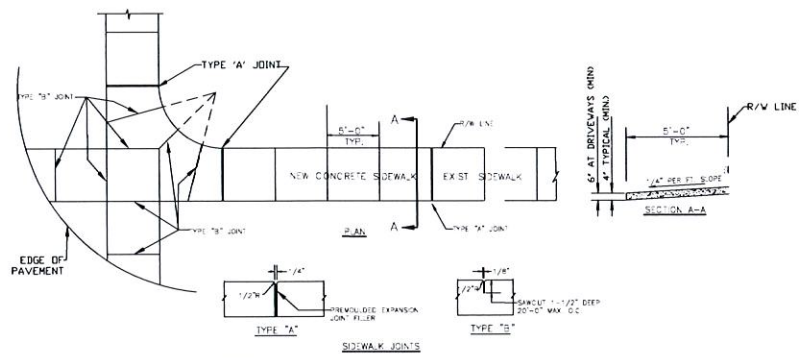
**TYPICAL HANDICAPPED PARKING DETAIL**  
N.T.S.

HANDICAP STALL STRIPING SHALL BE PER FDOT STANDARD INDEX 17346 (LATEST EDITION) AS REFERENCED BY THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION



- 1-ALL LETTER ARE 1.5" SERIES "C" @ 0.8" SPACING
- 2-TOP SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND W/ WHITE REFLECTORIZED LEGEND AND BORDER
- 3-BOTTOM SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND W/ BLACK OPAQUE LEGEND AND BORDER
- 4-FTP55 PANEL SHALL BE MOUNTED BELOW FTP-26 SIGN

**HANDICAP SIGN DETAIL**  
N.T.S.



TYPE	LOCATION
"A"	W/O AND P/O OF CURBS
"B"	1/2" CENTER TO CENTER ON SIDEWALK

**TYPICAL SIDEWALK DETAILS**  
N.T.S.

NOTE: 1-CONCRETE TO BE CLASS-1 3000 P.S.I. 2-USE OF REINFORCEMENT WILL NOT BE PERMITTED. 3-SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT".

DIVERSIFIED CONSTRUCTION  
**DCES**  
& ENGINEERING SERVICES  
7295 N.W. CORPORATE BLVD. #125 BOCA RATON, FL 33431  
561-750-3717 FAX 561-750-3686  
EB #6459

REVISIONS	DATE	DWN.	CHK.
1.			
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7.			
8.			

**WYNDHAM GARDEN**  
129 NORTH FEDERAL HIGHWAY  
DANIA BEACH, FLORIDA 33034  
CONCEPTUAL  
SITE ENGINEERING DETAILS

**DCES**  
SCALE: 1"=20'  
DATE: 7-6-15  
DWN. BY: M.K.  
CHK. BY: N.B.J.  
F.B. PG.  
JOB NO.:  
2086-14

**PROJECT DESIGN TEAM:**

**ARCHITECTS**  
ADACHE GROUP ARCHITECTS  
550 SOUTH FEDERAL HIGHWAY  
FT. LAUDERDALE, FLORIDA 33301  
PH: (954) 525-8133  
E-MAIL: info@adache.com

**LANDSCAPE ARCHITECTS**

ARCHITECTURAL ALLIANCE  
612 SOUTHWEST 4TH AVENUE  
FORT LAUDERDALE, FLORIDA 33315  
PH: (954) 764-8858  
E-MAIL: bowell@archall.net

**CIVIL ENGINEER**

DCES DIVERSIFIED CONSTRUCTION  
& ENGINEERING SERVICES  
2647 NORTH ANDREWS AVENUE  
FORT LAUDERDALE, FLORIDA 33311  
PH: (954) 561-750-3717  
E-MAIL: neal@dcsgroup.com

**STRUCTURAL**

MUE ENGINEERS, INC.  
3440 NORTHEAST 12TH AVENUE  
OAKLAND PARK, FL 33334  
PH: (954) 324-4730  
CA#: 29548  
E-MAIL: munterweger@MUEngineers.com

**MEP ENGINEERS**

FAE CONSULTING  
700 WEST HILLSBORO BLVD, BLDG 10, SUITE 204  
DEERFIELD BEACH, FLORIDA 33441  
PH: (561) 391-0292  
E-MAIL: info@FAEConsulting.com

**OWNER:**

ADI GLOBAL  
2028 HARRISON ST., SUITE #202  
HOLLYWOOD, FLORIDA 33020

**PROJECT:**

WYNDHAM GARDEN INN  
129 NORTH FEDERAL HIGHWAY  
DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
GROUND FLOOR  
TREE DISPOSITION PLAN

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS.

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FLORIDA LICENSE # AR0007073

**DATE:** 07/07/15

**SCALE:** 3/32" = 1'-0"

**DRAWN BY:** JBE

**CHECKED BY:** HJ

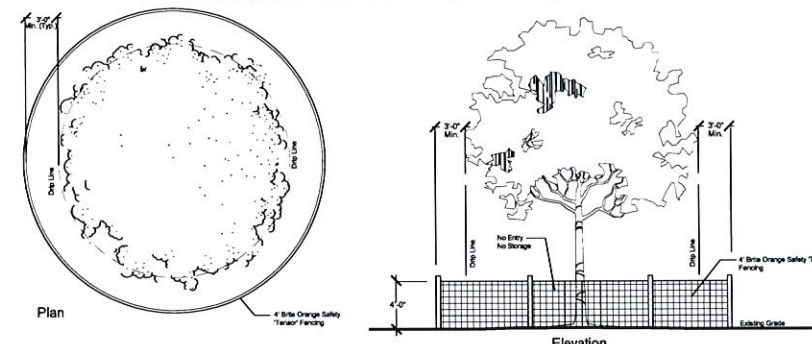
**JOB NO.:** 1515

**SHEET NO.:**

**TS-1**

WYNDHAM GARDEN INN - DANIA BEACH							
5/7/2015							
Tree Survey #	Scientific Name	Common Name	DBH (in.)	Height	Spread	Condition	Disposition
1	Cocos nucifera	Coconut Palm	14	22	22	Average	Remain
2	Cocos nucifera	Coconut Palm	14	25	25	Average	Remain
3	Cocos nucifera	Coconut Palm	14	22	22	Average	Remain
4	Cocos nucifera	Coconut Palm	14	20	25	Average	Relocate
5	Cocos nucifera	Coconut Palm	14	25	25	Average	Relocate
6	Veitchia montgomeryana	Montgomery Palm	5	25	10	Average	Remove
7	Sabal Palmetto	Cabbage Palm	12	8	10	Poor	Remove
8	Sabal Palmetto	Cabbage Palm	12	12	10	Poor	Remove
9	Sabal Palmetto	Cabbage Palm	12	8	10	Poor	Remove
10	Sabal Palmetto	Cabbage Palm	10	6	10	Poor	Remove
11	Sabal Palmetto	Cabbage Palm	12	8	10	Poor	Remove
12	Sabal Palmetto	Cabbage Palm	10	10	10	Poor	Remove
13	Sabal Palmetto	Cabbage Palm	12	8	10	Poor	Remove
14	Sabal Palmetto	Cabbage Palm	12	10	10	Poor	Remove
15	Sabal Palmetto	Cabbage Palm	10	18	10	Poor	Remove
16	Quercus virginiana	Live Oak	16	28	20	Poor	Remove
17	Ficus aurea	Strangle Fig	45	35	35	Poor	Remove
18	Sabal Palmetto	Cabbage Palm	10	10	10	Average	Remove
19	Sabal Palmetto	Cabbage Palm	12	12	10	Average	Remove
20	Sabal Palmetto	Cabbage Palm	10	10	10	Average	Remove
21	Quercus virginiana	Live Oak	8	n/a	n/a	Dead	Remove
22	Quercus virginiana	Live Oak	10	22	18	Poor	Remove
23	Ficus aurea	Strangle Fig	8	20	8	Poor	Remove
24	Sabal Palmetto	Cabbage Palm	10	12	10	Poor	Remove
25	Ficus aurea	Strangle Fig	8	18	8	Poor	Remove
26	Cocos nucifera	Coconut Palm	12	12	20	Poor	Remove
27	Sabal Palmetto	Cabbage Palm	12	8	10	Poor	Remove
28	Sabal Palmetto	Cabbage Palm	12	12	10	Poor	Remove
29	Sabal Palmetto	Cabbage Palm	12	14	10	Poor	Remove
30	Sabal Palmetto	Cabbage Palm	12	20	10	Poor	Remove
31	Sabal Palmetto	Cabbage Palm	10	18	10	Poor	Remove
32	Sabal Palmetto	Cabbage Palm	12	12	10	Poor	Remove
33	Sabal Palmetto	Cabbage Palm	10	14	10	Poor	Remove
34	Sabal Palmetto	Cabbage Palm	12	14	10	Poor	Remove
35	Sabal Palmetto	Cabbage Palm	12	20	10	Poor	Remove
36	Sabal Palmetto	Cabbage Palm	10	16	10	Poor	Remove
37	Sabal Palmetto	Cabbage Palm	10	14	10	Poor	Remove
38	Sabal Palmetto	Cabbage Palm	12	12	10	Poor	Remove
39	Sabal Palmetto	Cabbage Palm	10	18	10	Poor	Remove
40	Sabal Palmetto	Cabbage Palm	12	14	10	Poor	Remove
41	Sabal Palmetto	Cabbage Palm	12	10	10	Poor	Remove
42	Sabal Palmetto	Cabbage Palm	12	12	10	Poor	Remove
43	Quercus virginiana**	Live Oak	30	30	35	Average	Remain
44	Quercus virginiana**	Live Oak	12	25	22	Average	Remain

\* - Trees and Palms 43-44 are located off site, and should remain, they might need to be crown pruned  
\*\* - Heights for the palms are indicated as Clear Trunk Heights not overall heights.



**Existing Tree(s) Protection Detail**

**NOTE:**  
ALL EXISTING TREES AND PALMS INDICATED TO REMAIN SHALL BE PROTECTED WITH A TREE BARRICADE. REFER TO DETAIL ON THIS SHEET. THIS BARRICADE MUST BE INSTALLED PRIOR TO THE BEGINNING OF PROPOSED WORK.

**ROOT PRUNING FOR TREE RELOCATION**

- 1) ROOT PREPARATION**  
A. Trees to be root pruned with clean, sharp equipment 6-8 weeks prior to relocation to a depth of at least 24 inches by ISA certified arborist.  
1. Maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices.  
2. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth.  
3. Mulch to reduce weeds, discourage foot traffic, conserve moisture, and minimize temperature fluctuation.  
B. Root Ball Size Chart: Root ball sizes shall be according to minimum standards set forth in Grades and Standards for Nursery Plants Part II, Palms and Trees.  
Florida Department of Agriculture.  
1. Trees-Minimum Ball Sizes: DBH Minimum Ball Diameter  
3-1/2" to 4": 28"  
4" to 4-1/2": 30"  
4-1/2" to 5": 32"  
5" to 5-1/2": 34"  
Larger sizes increase proportionally.  
C. Two to 3 weeks after root pruning and before lifting, tree canopies shall be pruned to remove any dead, decayed, broken branches, low hanging branches, or branches which would otherwise restrict strapping/lifting activities.

- 1) TREE RELOCATION**  
A. Trees shall be lifted using fiber rope lifting straps, with their rootballs cradled with fiber rope tree slings or other appropriate materials, such that the bulk of the trees' weight rests upon the rootball. Trunk straps may be used for balancing a maneuvering the trees into position, but shall not be used to lift or hold 100% of the trees' weight.  
1. Once lifting begins, any uncut roots which become apparent around or under the rootballs shall be immediately severed with the appropriate pruning tools so as to minimize tearing.  
2. After lifting, trees shall not be set down again until reaching the final site of relocation.  
B. Trees are to be set in pre-dug pits, and properly braced in accordance with tree planting details shown on landscape plan.  
C. Daily irrigation at high volume (15-25 gallons per tree, as per size) shall be provided for the first month after relocation. After that time, irrigation shall be provided 3 times per week, continuing at high rates, for at least 2 more months. After establishment, standard irrigation practices shall be implemented.

**NOTES:**

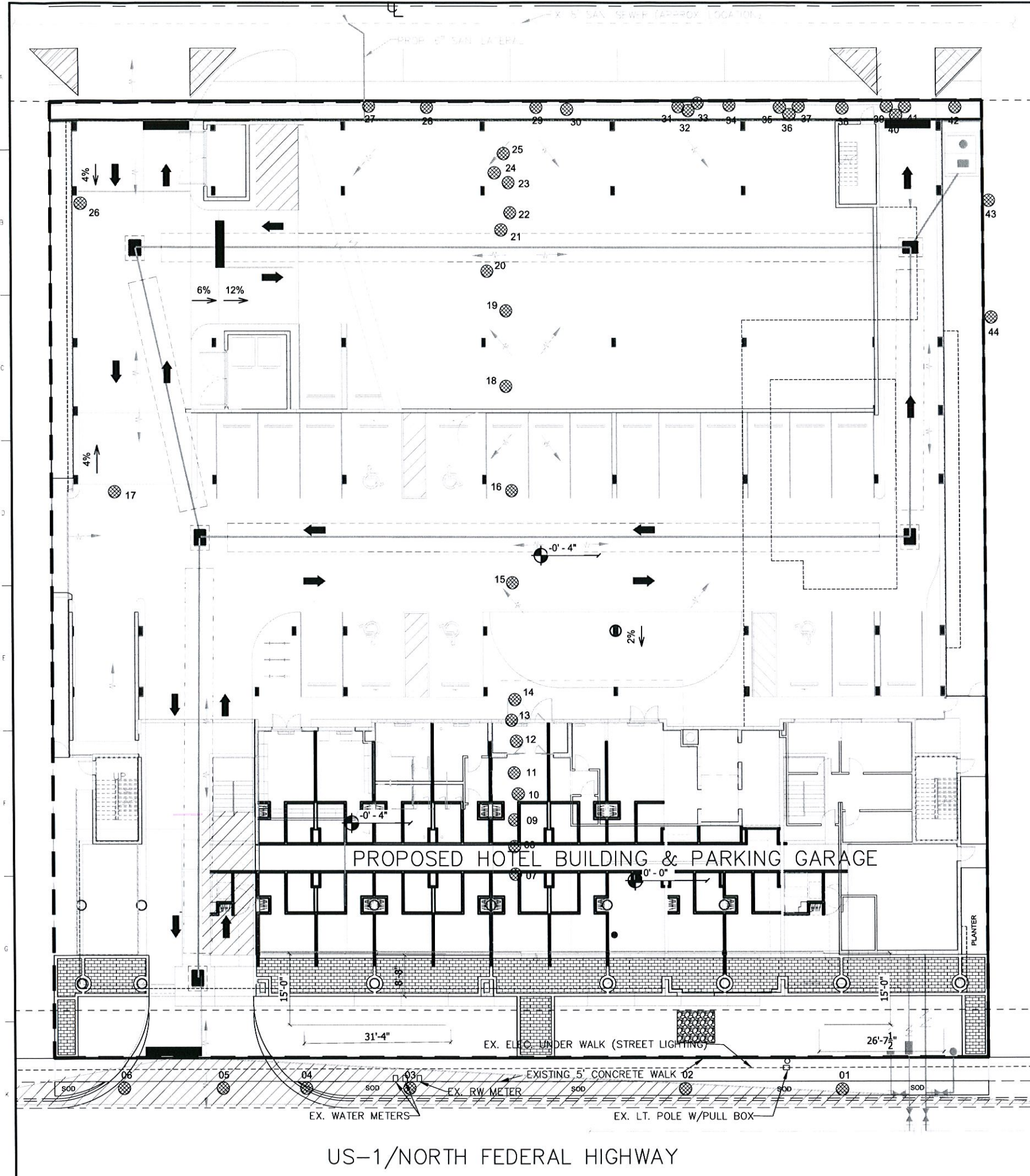
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
- SEE SHEET LP-3 FOR LANDSCAPE DETAILS AND NOTES.
- SEE SHEET LP-1 FOR PLANTING SCHEDULE.
- ALL EXISTING TREES WITHIN THE FDOT ROW INDICATED AS REMOVED WILL NEED TO UNDER A SEPARATE LANDSCAPE PERMIT WITH FDOT. CONTRACTOR SHALL SUBMIT APPLICATION.
- ALL TREE MITIGATION NOT MEET ON THIS SHEET OR ON THE LANDSCAPE SHEETS SHALL BE MADE BY CONTRIBUTION TO THE CITY TREE TRUST FUND.
- NO TREES OR PALMS SHALL BE REMOVED WITHOUT FIRST SECURING A TREE REMOVAL LICENSE WITH THE CITY.



**1 GROUND FLOOR - TREE DISPOSITION**  
3/32" = 1'-0"



US-1/NORTH FEDERAL HIGHWAY





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**OWNER:**  
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 HOLLYWOOD, FLORIDA 33020

**PROJECT:**  
**WYNDHAM GARDEN INN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

--

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS
1	8/4/15	Per city comments

**SHEET TITLE:**  
**GROUND FLOOR**  
**LANDSCAPE PLAN**

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**DATE:** 07/07/15  
**SCALE:** 3/32" = 1'-0"  
**DRAWN BY:** JBE  
**CHECKED BY:** HJ  
**JOB NO.:** 1515

**SHEET NO.:**  
**LP-1**

**PLANT SCHEDULE & WYNDHAM GARDEN INN - DANIA BEACH**

TREE CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT. FORM	CA.	SIZE	DATE	NATIVE	PROOFT	SPACING
IES	4	LEX CASPINE	DAHON HOLLY	FOGAS	JCAL	12" HT X 8" SPN	8	YES	HIGH	
EOV	2	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	EXISTING				YES	HIGH	
GH2	5	QUERCUS VIRGINIANA HIGH RISE	HIGH RISE LIVE OAK	FOGAS	JCAL	14"-18" HT X 8" SPN	8	YES	HIGH	
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT. FORM	CA. <td>SIZE</td> <td>DATE</td> <td>NATIVE</td> <td>PROOFT</td> <td>SPACING</td>	SIZE	DATE	NATIVE	PROOFT	SPACING
CH2	3	COCOS NUCIFERA	COCONUT PALM	EXISTING				NO	HIGH	
TCN	2	COCOS NUCIFERA	COCONUT PALM	RELOCATED				NO	HIGH	
HV	1	HYOPHORBE VERSCHEFFELTII	SPRINDE PALM	45 GAL		8" DIA. SINGLE HEAVY	8	NO	HIGH	
RE	1	ROYSTONIA ELATA	FLORIDA ROYAL PALM	FOGAS		12" OW, 25" CAL, MATCHED	8	YES	HIGH	
VW	1	VERTICIA WINN	WINN PALM	FOGAS		18" OW, 04.08L, TRUNCS	8	NO	HIGH	
SHRUBS AND AIR	12	ALCANTAREA IMPERIALIS 'YACENGA'	RUBRA IMPERIAL BROMELAD	3 GAL	CA. <td>SIZE</td> <td>DATE <td>NATIVE <td>PROOFT <td>SPACING</td> </td></td></td>	SIZE	DATE <td>NATIVE <td>PROOFT <td>SPACING</td> </td></td>	NATIVE <td>PROOFT <td>SPACING</td> </td>	PROOFT <td>SPACING</td>	SPACING
PAP	4	POLYALTHA LONGIFOLIA	ASPIC	15 GAL		30" SP. DIA.	8	NO	MEDIUM	24" c.c.
SEF	1	SCHEFFERA ELEGGANTISSIMA	FALSE KAUKA	7 GAL		8" DIA. FULL	8	NO	HIGH	48" c.c.
TCJ	12	TRACHELOSPERMUM GRANDIFOLIUM 'BLUE SKY'	BLUE SKY FLOWERS	8" X 8" ON TRELIS				NO	HIGH	36" c.c.
TGJ	119	TRACHELOSPERMUM JASMINEOIDES CONFERTATE	CONFERTATE JASMINE	7 GAL		4.5" DIA. TRELIS W/ RUNNERS	8	NO	HIGH	36" c.c.
SHRUBS AND AIR	120	BOTANICAL NAME: CHRYSALANAE CACD 'RESTIF'	COMMON NAME: RED TIP COCOPLUM	CONT. FORM: 3 GAL	CA.:	SIZE: 24" HT X 24" SPN	DATE: 8	NATIVE: YES	PROOFT: HIGH	SPACING: 24" c.c.
COS	21	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	3 GAL		24" HT X 24" SPN	8	NO	HIGH	24" c.c.
CES	102	CONCARPUS ERECTUS BENGALIS	SILVER BUTTON WOOD	3 GAL		30" HT X 24" SPN	8	YES	HIGH	24" c.c.
FMG	154	FOCUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FOCUS	3 GAL		18" HT X 18" SPN	8	NO	HIGH	36" c.c.
PMD	86	PODOPHYLLUM MACROPHYLLUM 'DWARF PRINCELES'	DWARF PODOPHYLLUM	3 GAL		14" HT X 18" SPN	8	NO	HIGH	18" c.c.
VOW	87	VEURURUM OBOVATUM 'DWARF WALTER'S'	DWARF WALTER'S VEURURUM	3 GAL		18" HT X 18" SPN	8	YES	HIGH	18" c.c.
DRYLAND COVER	QTY	BOTANICAL NAME	COMMON NAME	CONT. FORM	CA. <td>SIZE</td> <td>DATE <td>NATIVE</td> <td>PROOFT <td>SPACING</td> </td></td>	SIZE	DATE <td>NATIVE</td> <td>PROOFT <td>SPACING</td> </td>	NATIVE	PROOFT <td>SPACING</td>	SPACING
PSP	138	ANDRIS ELAEOGATA	FERNETAL PLANT	1 GAL		18" HT X 12" SPN	8	NO	HIGH	18" c.c.
DBM	47	DANIELA TADMANICA	BLUEBERRY FLAXLILY	3 GAL		18" HT X 18" SPN	8	NO	MEDIUM	24" c.c.
DBM	28	DITES BICOLOR WORKANA	FORTNIGHT LILY	3 GAL		12" HT X 12" SPN	8	NO	HIGH	24" c.c.
NBN	20	NEOREBELIA X BOSSA NOVA	GREEN & WHITE BROMELAD	1 GAL		8" HT X 8" SPN	8	NO	HIGH	18" c.c.
NES	142	NEPHROLEPIS EXALTATA	BOSTON FERN	1 GAL		12" HT X 12" SPN	8	YES	HIGH	18" c.c.
TM	143	TRACHELOSPERMUM ASATOCUM 'MINNA'	MINNA JASMINE	1 GAL		4" HT X 12" SPN	8	NO	MEDIUM	12" c.c.
SODDED	QTY	BOTANICAL NAME	COMMON NAME	CONT. FORM	CA. <td>SIZE</td> <td>DATE <td>NATIVE</td> <td>PROOFT <td>SPACING</td> </td></td>	SIZE	DATE <td>NATIVE</td> <td>PROOFT <td>SPACING</td> </td>	NATIVE	PROOFT <td>SPACING</td>	SPACING
ZC	375 SF	ZONISA JAPONICA EMPRE	ZONISA SOD	300		18" HT X 18" SPN	8	YES	HIGH	36" c.c.
TALL GRASS COVER	QTY	BOTANICAL NAME	COMMON NAME	CONT. FORM	CA. <td>SIZE</td> <td>DATE <td>NATIVE</td> <td>PROOFT <td>SPACING</td> </td></td>	SIZE	DATE <td>NATIVE</td> <td>PROOFT <td>SPACING</td> </td>	NATIVE	PROOFT <td>SPACING</td>	SPACING
TC	1	MALLENBERGIA CAPILLARS	PINK RILEY GRASS	3 GAL		18" HT X 18" SPN	8	YES	HIGH	36" c.c.

**LANDSCAPE CALCULATIONS**

Wyndham Garden Inn  
 LAND USE: LAC-Local Activity Center  
 ZONING: CC-City Center

	40,400 SF	927 AC.
TOTAL LANDSCAPE AREA PROVIDED		4,996 SF
TOTAL VEHICULAR USE AREA PROVIDED		n/a
	REQUIRED	PROVIDED
<b>SEC. 275-140.C LDSC NON-VUA OPEN SPACE</b>		
1 TREE AND 10 SHRUBS PER 2,000 SF - 4,966 SF	2.5 TREES	3+ TREES
	25 SHRUBS	100+ SHRUBS
<b>SEC. 307-20 STREET TREE LANDSCAPING</b>		
NW 1st Avenue - 1 tree per 40 LF ( 145 W / 40 W = 3.6 trees)	3.6 TREES	4 TREES
Under powerlines, use FPL guidelines		
Federal Highway - Existing buffer in place (Coconut Palms)		5 PALMS
(3 Existing and 2 Relocated) to match existing streetscape within the immediate area		

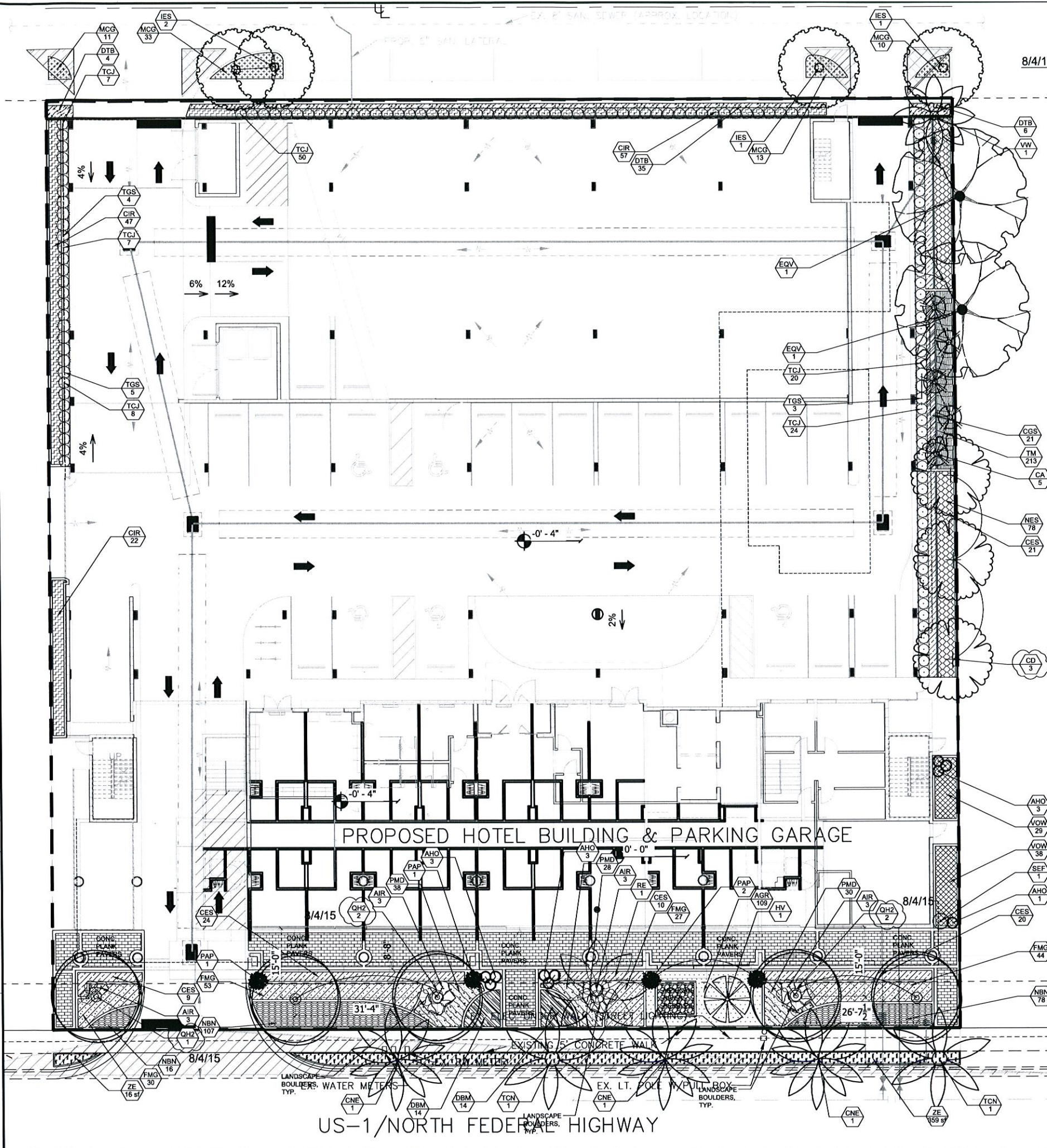
ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.  
 IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH A RAIN SENSOR.

**NOTES:**

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
- SEE SHEET LP-3 FOR LANDSCAPE DETAILS AND NOTES.

**811** KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG  
 It's fast, it's free, it's the law.  
 Call 811 two business days before digging

**1** GROUND FLOOR - LANDSCAPE PLAN  
 3/32" = 1'-0"



**PROJECT DESIGN TEAM:**

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**PROJECT:**  
**WYNDHAM GARDEN INN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

REVISIONS:		
No.	DATE	REMARKS

**SHEET TITLE:**  
**POOL DECK**  
**LANDSCAPE PLAN**

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**DATE:** 07/07/15  
**SCALE:** 3/32" = 1'-0"  
**DRAWN BY:** JBE  
**CHECKED BY:** HJ  
**JOB NO.:** 1515

**SHEET NO.:**  
**LP-2**

**PLANT SCHEDULE POOL DECK**

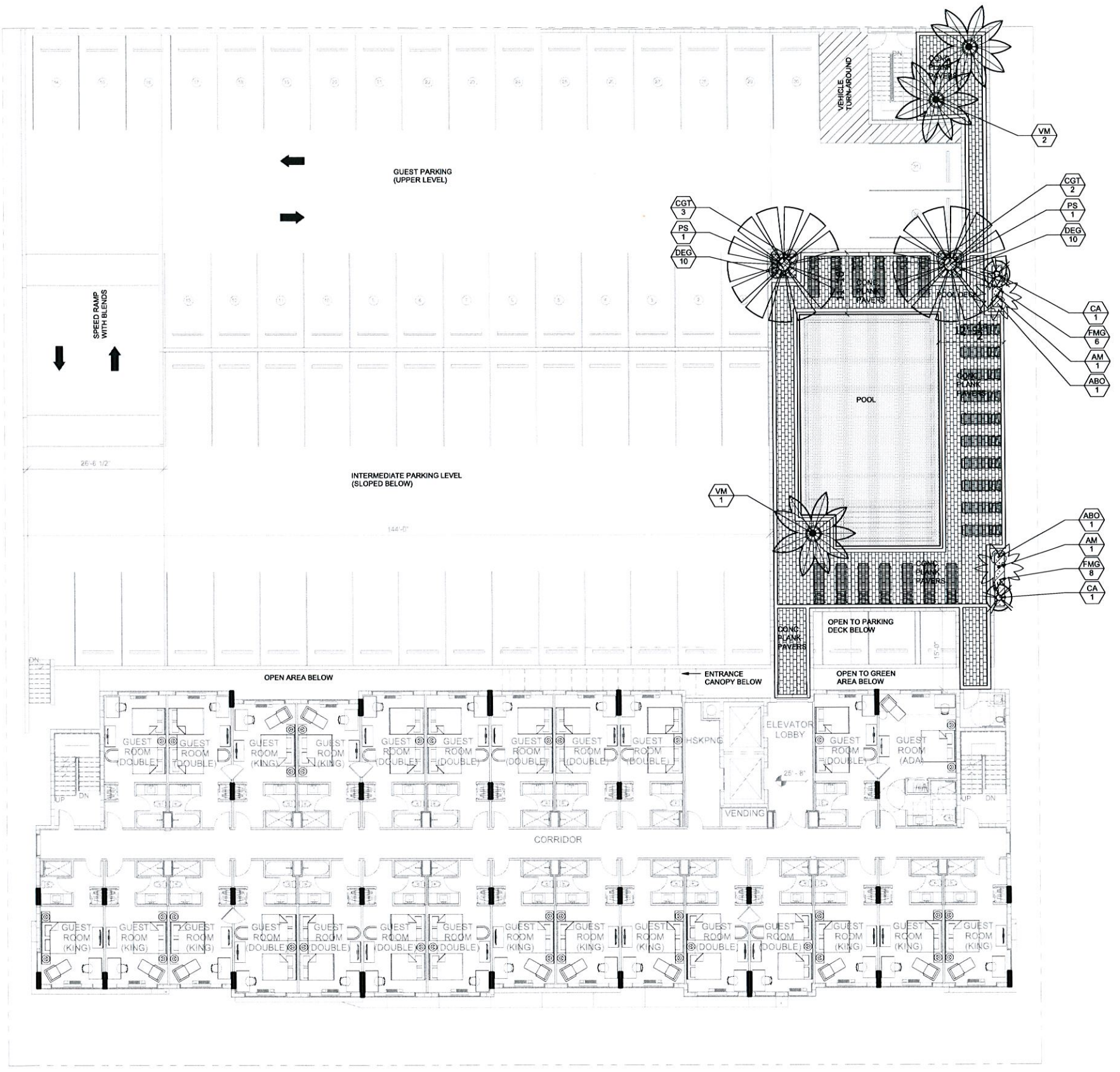
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	NATIVE	DROUGHT
AM	2	Adonis merita	Adonis Palm	Fast Grow / B & B	8' CA, Single, Heavy Canopy	No	High
CA	2	Coccothrinax allea	Silver Thatch Palm	FGSAB	8' CA, Single Heavy	Yes	High
PS	2	Phoenix sylvestris	Wild Date Palm	FGSAB	8' CT, Matched	No	High
VM	3	Valisneria spiralis	Montgomery Palm	FGSAB	18-18' CA H., Single Trunk	No	Medium

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	NATIVE	DROUGHT	SPACING
ABO	2	Aechmea bianchiana	'Burnt Orange' Bromeliad	5 gal	specimen	No	Medium	36" o.c.
CGT	5	Clusia guifera	Small-Leaf Guale	7 gal	36" H. x 30" Sp.	Yes	High	36" o.c.

SHRUBS/ANAS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	NATIVE	DROUGHT	SPACING
DEG	20	Duranta erecta	Gold Mound Duranta	3 Gal.	15" HT x 18" SP	Yes	High	18" o.c.
FMG	14	Ficus microcarpa	'Green Island'	3 Gal.	15" HT x 18" SP	No	High	27" o.c.



- NOTES:**
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
  - IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
  - SEE SHEET LP-3 FOR LANDSCAPE DETAILS AND NOTES.



1 POOL DECK - LANDSCAPE PLAN  
 3/32" = 1'-0"



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 DANIA BEACH, FLORIDA 33034

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**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
 LANDSCAPE DETAILS  
 AND NOTES

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**SCALE:** NOT TO SCALE  
**DRAWN BY:** JBE  
**CHECKED BY:** HJ  
**JOB NO.:** 1515

**SHEET NO.:**  
 LP-3

**NOTES:**

**GENERAL PLANTING REQUIREMENTS**

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Architectural Alliance.

The plan takes precedence over the plant list.

**SPECIAL INSTRUCTIONS**

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

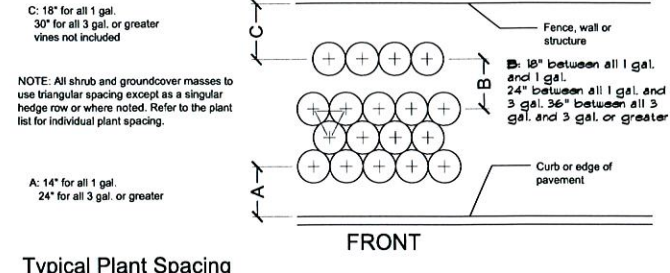


City of Dania Beach Standard Landscape Plan Notes

1. A pre-construction meeting with the Dania Beach City Arborist is required prior to landscaping activities including removal of trees and/or installation of plant material. Call 954-924-6423 a minimum of 5 days prior to desired start date to schedule pre-construction meeting.
2. All existing trees proposed to remain are to be separated from the limits of disturbance of the construction area by tree protection fencing and signage. The tree protection fencing shall be located at the edge of the tree protection zone as depicted on the plan or at the edge of the drip-line(s) if a tree protection zone is not designated. No material storage or construction access is permitted within the tree protection zone.
3. All existing trees shall be pruned to ANSI A-300 standards to correct potential hazards.
4. A tree removal permit is required prior to removal or relocation of any tree or palm. Contact the Dania Beach City Arborist at 954-924-6805 to obtain permit information.
5. Landscape contractor shall notify Sunshine One Call of Florida, Inc. at 1-800-432-4770 a minimum of 2 full business days prior to digging. Landscape contractor is responsible for avoiding damage to utilities from plant installation.
6. Tree relocations:
  - a. Existing trees to be relocated shall be root pruned a minimum of 120 days prior to relocation.
  - b. Minimum root ball sizes shall be in accordance with ANSI standards as follows:
 

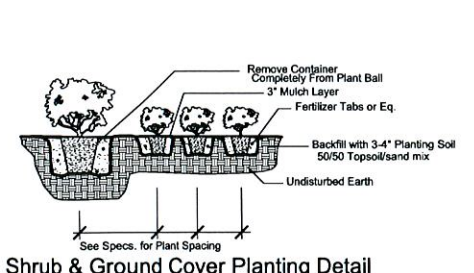
Caliper	Minimum Root Ball Diameter
1	16
2	24
3	32
4	42
5	54
6	60
7	70
8	80
> 8	12 inches per inch of trunk diameter
  - c. Transplanted trees with undisturbed root balls may be rejected by the City Arborist and replacement trees may be required.
  - c. A temporary irrigation system shall be provided during and for the first 40 days after root pruning.
7. All planting must follow planting specifications and details shown on the plan.
8. Substitutions of plant species or specifications must be approved in writing by the Dania Beach City Arborist prior to use.

9. All plant material planted per this landscape plan shall be Florida Grade #1 or better, as specified in the current edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants. Damaged plant material shall be rejected and replaced prior to installation.
10. All sizes shown for plant material are to be considered minimums.
11. Where quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence.
12. All new plant material shall be warranted by the landscape contractor for a minimum period of one year. The warranty period shall begin after acceptance of the plants by the City Arborist.
13. Plant beds to be treated with pre-emergent herbicide prior to planting.
14. All tree and palm staking and support shall be removed one year after installation.
15. No fertilizer shall be applied to newly planted trees and palms.
16. All landscape material shall be thoroughly watered at the time of planting; no dry planting permitted.
17. Landscape contractor shall be responsible for providing temporary water provisions until such time as the irrigation system is operational.
18. All wire guys and/or fabric straps shall be flagged with fluorescent colored tape.
19. Mulching:
  - a. All landscape areas not covered by sod shall be covered by a minimum 3-inch layer of mulch.
  - b. A mulch ring with a minimum radius of 24 inches (48 inch diameter), is required around all newly installed trees and palms.
  - c. Cypress mulch shall not be used.
  - d. No mulch shall be placed touching or within six inches of the trunk of a tree or palm.
20. All newly landscaped areas shall be excavated down to a depth of 24 inches below final grade and back filled with clean debris-free soil. Existing soil may be re-used for backfilling if debris is removed and organic content is sufficient or soil is augmented with topsoil. Construction access shall be restricted from the landscape area after excavation and backfill is complete.
21. All landscape areas shall be finish graded such that they are a minimum of 3.5 inches below surrounding paved surfaces so as not to impede the flow of drainage into landscaped areas and to allow for a 3-inch mulch layer.



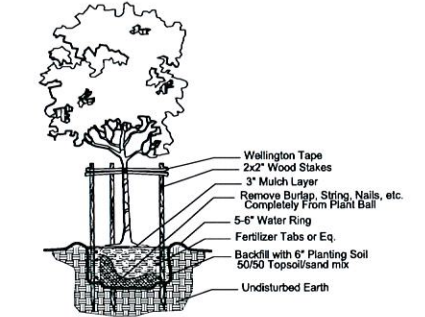
Typical Plant Spacing

NTS



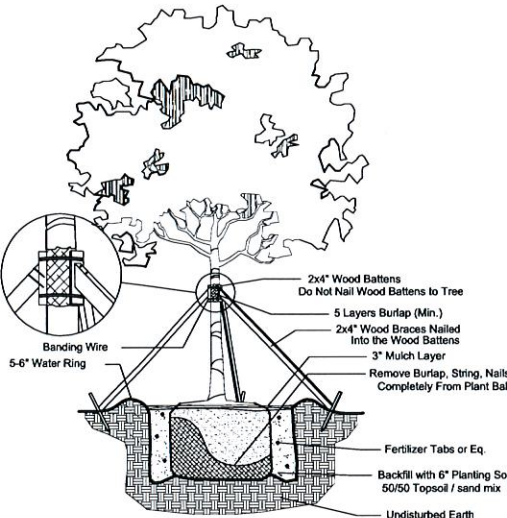
Shrub & Ground Cover Planting Detail

NTS



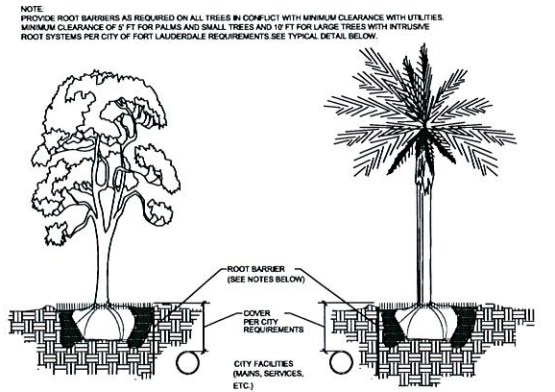
Small Tree Planting Detail

NTS



Large Tree Planting Detail

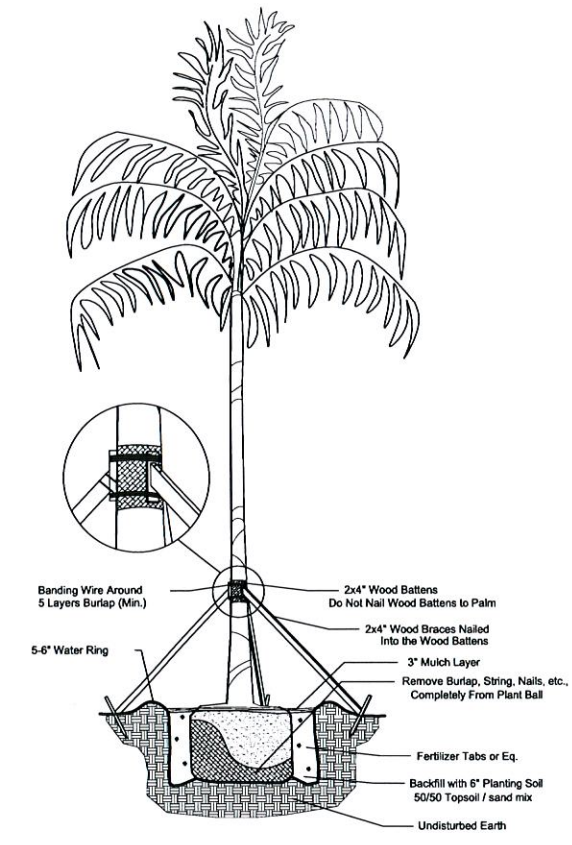
NTS



Typical Root Barrier Detail

NTS

- NOTES:**
1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
  2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 30" PANELS MANUFACTURED BY BIOBARRIER.
  3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



Palm Planting Detail

NTS

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**OWNER:**  
**ADI GLOBAL**  
 2028 HARRISON ST., SUITE #202  
 HOLLYWOOD, FLORIDA 33020

**PROJECT:**  
**WYNDHAM GARDEN INN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
**LANDSCAPE DETAILS AND NOTES**

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**DATE:** 07/07/15

**SCALE:** NOT TO SCALE

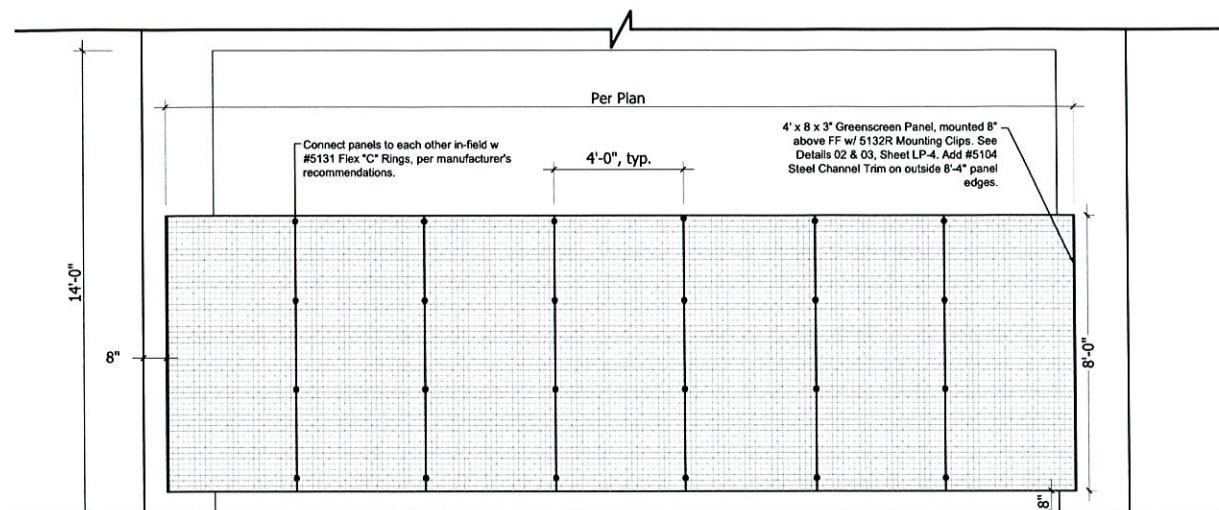
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**CHECKED BY:** HJ

**JOB NO.:** 1515

**SHEET NO.:**

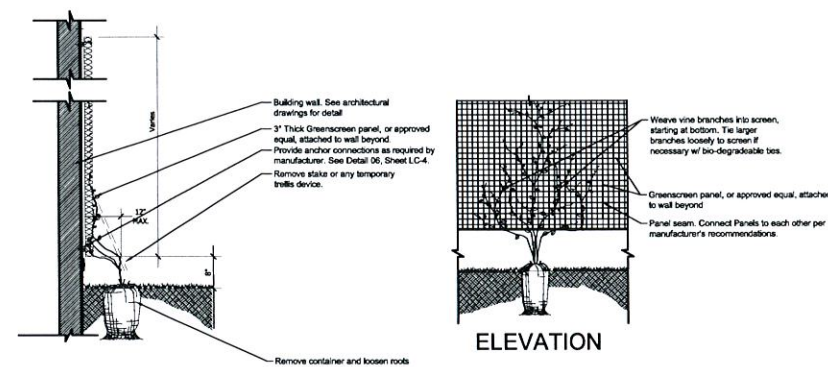
**LP-4**



GREENSCREEN PANELS AVAILABLE THROUGH REP SERVICES; CONTACT: JOANNE GULLIKSEN. Office: 505.207.5654 Mobile: 786.897.0138 Email: JGULLIKSEN@REPSERVICES.COM

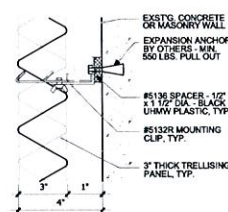
**01 GREENSCREEN PANELS - SOUTH ELEVATION**

SCALE: 3/8" = 1'-0"



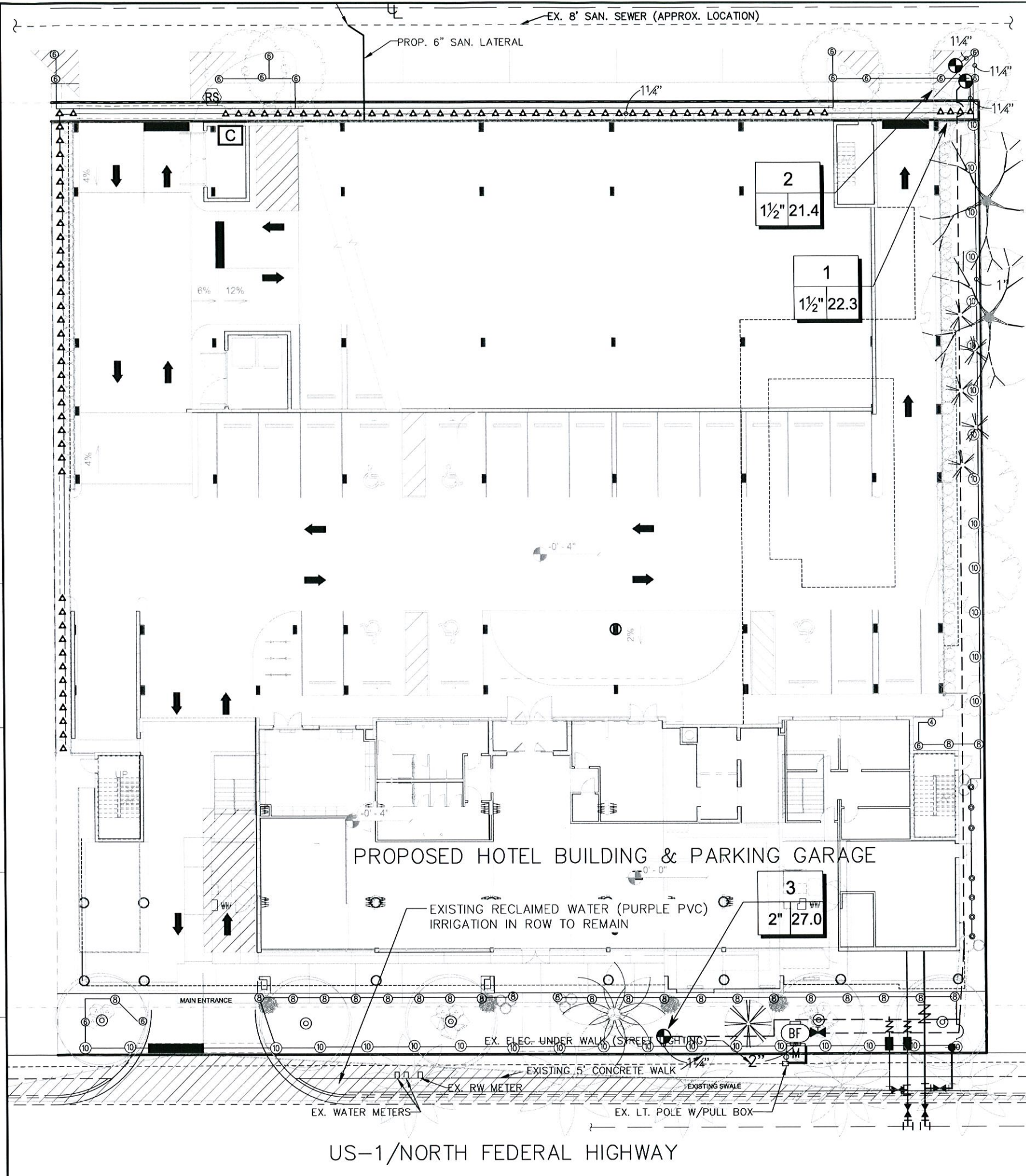
**02 GREENSCREEN PLANTING DETAIL**

SCALE: 3/8" = 1'-0"



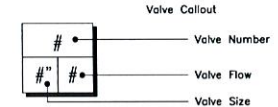
**03 GREENSCREEN MOUNTING CLIP DETAIL**

SCALE 3/8" = 1'-0"



### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
⊙ 20 2H 2F 40 4H 4F	Rain Bird 1806-SAM-PRS SQ Series Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	7	30	7/LI-2
⊙ 4V 6V 18V	Rain Bird 1806-SAM-PRS ADJ Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	16	30	7/LI-2
⊙ 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	Rain Bird 1806-SAM-PRS ADJ Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	56	30	7/LI-2
▲ 1402 1408 1401 1404	Rain Bird 1804-1400 Flood Flood Bubbler 4.0" pop-up	89	30	8/LI-2
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL	
⊕	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	3	1/LI-2	
⊕	Nibco T-113 NIBCO T-113 BRASS MAINLINE ISOLATION VALVE (LINE SIZE) IN A CARSON 1419 VALVE BOX	1	2/LI-2	
⊕	Febco 765 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.	1	3/LI-2	
C	Rain Bird ESP8LXME-LXMM 8 Station Capable Commercial Controller. Mounted on a Powder-Coated Metal Cabinet.	1		
RS	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire.	1		
M	Water Meter 1-1/2"	1		
---	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 Irrigation pipe. Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.	1,196 l.f.		
---	Irrigation Mainline: PVC Schedule 40 PVC Schedule 40 irrigation pipe.	309.7 l.f.		
---	Pipe Sleeve: PVC Schedule 40	178.3 l.f.		



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**PROJECT:**  
**WYNDHAM GARDEN INN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
**GROUND FLOOR**  
**IRRIGATION PLAN**

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**DATE:** 07/07/15  
**SCALE:** 3/32" = 1'-0"  
**DRAWN BY:** JBE  
**CHECKED BY:** HJ  
**JOB NO.:** 1515

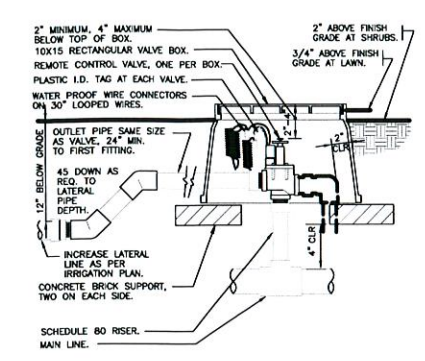
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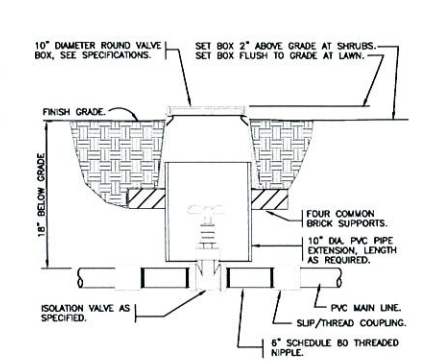
**1 GROUND FLOOR - IRRIGATION PLAN**  
 3/32" = 1'-0"



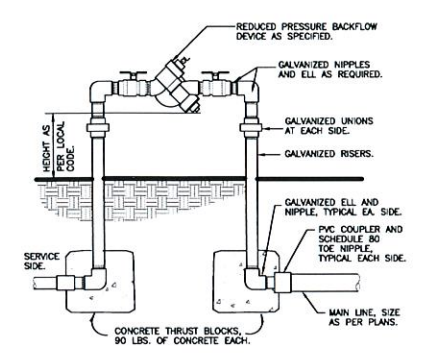
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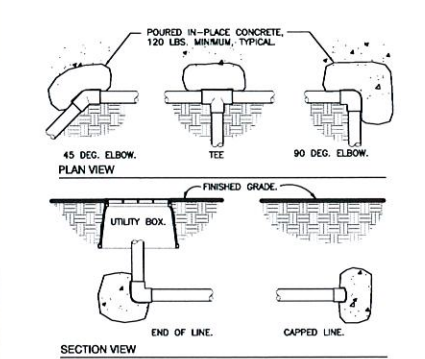
**1 ELECTRIC REMOTE CONTROL VALVE**  
1 1/2" = 1'-0" 328406.13-02



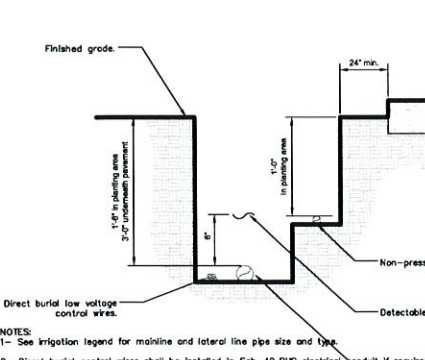
**2 BRASS ISOLATION VALVE**  
1 1/2" = 1'-0" 328406.33-01



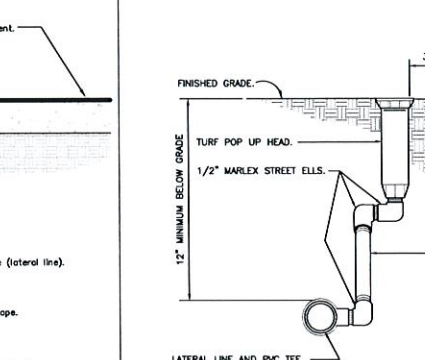
**3 REDUCED PRESSURE BACKFLOW DEVICE**  
1" = 1'-0" 328409.43-01



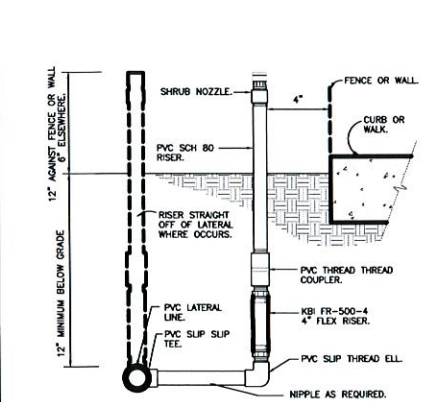
**4 THRUST BLOCKING**  
3/4" = 1'-0" 328409.76-01



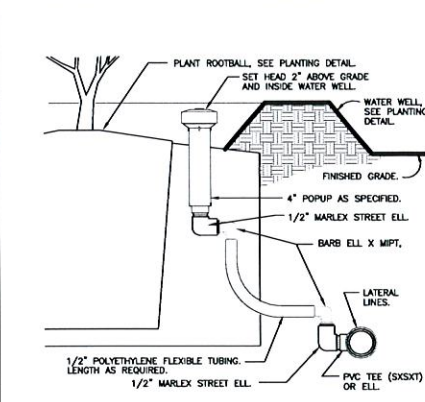
**5 IRRIGATION TRENCHING**  
1 1/2" = 1'-0" 328403.13-01



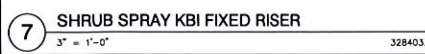
**6 TURF SPRAY MARLEX ASSEMBLY**  
3" = 1'-0" 328403.13-01



**7 SHRUB SPRAY KBI FIXED RISER**  
3" = 1'-0" 328403.23-01



**8 POPUP BUBBLER AT PLANT PIT**  
3" = 1'-0" 328403.53-04



**9 WALL MOUNT CONTROLLER**  
1" = 1'-0" 328409.13-01

**WRING**  
Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation control wire; suitable for direct burial and continuous operation at rated voltages.  
Tape and bundle control wires every 10' and run alongside the mainline. At all turns in direction make a 2" coil of wire. At all valve boxes coil wire around a 3/4" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with JMOBY/R connectors.  
Number all wires, using an electrical box of numbers, according to the plans. Number wires in all valve boxes, junction boxes and at the controller.  
Wire sized, numbered and colored as follows:  
#14 white for common  
#14 spore block common  
#14 individual color coded hot wire  
#14 spore yellow hot wire  
Spore wires  
Leaving each controller, run four spore wires in both directions (eight spore wires total). Install as 1 common spore (2 total) and 3 hot wires (6 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 8" and be readily accessible by opening the valve box lid. These wires must be all numbered and color coded as required in these plans.  
Controller and Pump station Control Panel grounding - Contractor to utilize 4"X35"X8" copper grounding plates, 5/8"X10" copper clad grounding rods, "One Square" CAD wells at all connection points, #6 insulated copper wire, and sort contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification, on a licensed electrical contractor's letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded and tested. Each component must have its own separate grounding grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid.

**LAYOUT**  
Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.  
Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail Sheet.  
Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.  
Shrub heads shall be installed on 3/4" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalk, roadway curbing, building foundations, and/or any other hardscape areas. Shrub heads shall be installed to a standard height of 4" below maintained height of plants and shall be installed a minimum of 6" within planted mosses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will utilize reuse water; in this case the risers shall be purple PVC and shall not be painted.  
Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.  
**VALVES**  
Sequence all valves so that the farthest valve from the P.D.C. operates first and the closest to the P.D.C. operates last. The closest valve to the P.D.C. should be the last valve in the programmed sequence.  
Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.  
Using an electric branding iron, brand the valve I.D. letter/number on the lid of each valve box. This brand must be 2"-3" tall and easily legible.  
**EQUIPMENT**  
All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple swing joints unless otherwise detailed.  
All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.  
**TRENCHING**  
Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.  
Protect existing landscaped areas. Remove and replace any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.  
**INSTALLATION**  
Solvent Weld Pipe: Cut all pipe square and deburr. Clean pipe and fittings of foreign material; then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement; first apply a thin layer to the pipe, next a thin layer inside the fitting, and finally another very thin layer on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then turn the pipe 1/4 turn and hold for 10 seconds. Make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded.

Pipes must cure a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hours prior to filling with water.  
**BACK FILL**  
The Back fill 6" below, 6" above, and around all piping shall be of clean sand and anything heavier than that in the trench can be of native material but nothing larger than 2" in diameter. All piping and excavations shall be backfilled and compacted to a density of 95% modified Proctor, or greater.  
Main line pipe depth measured to the top of pipe shall be:  
24" minimum for 3/4"-2 1/2" PVC with a 30" minimum at vehicular crossings.  
30" minimum for 3" & 4" PVC with a 36" minimum at vehicular crossings.  
Lateral line depths measured to top of pipe shall be:  
18" minimum for 3/4"-2 1/2" PVC with a 30" minimum at vehicular crossings.  
24" minimum for 3" PVC and above with a 30" minimum at vehicular crossings.  
Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2" on each side of every joint (bell fittings, 90's, tees, 45's, etc.). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.  
**FLUSHING**  
Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.  
Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.  
Use screens in heads and adjust heads for proper coverage avoiding excess water on walls, walls and paving.  
**TESTING**  
Soil: At a minimum of 2 locations on the site, soil tests for infiltration and texture shall be performed according to the USDA Soil Quality Test Kit Guide. The tests shall be documented in a USDA Soil Worksheet. (All of the above is available at [http://soils.usda.gov/sq/assessment/test\\_kit.html](http://soils.usda.gov/sq/assessment/test_kit.html)) The completed worksheet shall be submitted to the owners representative for review/approval. Do not proceed without written direction from the owner/owner's representative.  
Schedule testing with Owner's Representative a minimum of three (3) days in advance of testing.  
Mainline: Remove all remote control valves and cap using a threaded cap on SCH 40 nipple. Hose bibs and gate valves shall not be tested against during a pressure test unless authorized by written permission from the owner. Fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe.  
If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.  
Lateral Lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.  
Operational Testing - Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works automatically from the controller. This demonstration requires each zone to be turned on, in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.  
Upon completion of the operational test, run each zone until water begins to puddle or run off. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.  
**SUBMITTALS**  
Pre-Construction: Deliver five (5) copies of submittals to Owner's Representative within ten (10) working days from date of Notice to Proceed. Furnish information in 3-ring binder with table of contents and index sheet, index sections for different components and label with specification section number and name of component. Furnish submittals for components on material list. Indicate which items are being supplied on catalog sheets when multiple items are shown on one sheet. Incomplete submittals will be returned without review. In lieu of hardcopies, an electronic package in PDF format can be submitted.

After project completion:  
As a condition of final acceptance, the irrigation contractor shall provide the owner with:  
1. Irrigation As-Built - shall be provided utilizing a sub-foot Global Navigation Satellite System (GNSS) to accurately locate all mainlines, steves, remote control valves, gate valves, independent wire runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, wells and water source connections in Florida East State Plane, NAD 83, and CORS 96 format. The data collected shall be in POINT format and include an ID for each data point with Manufacturer, Type, Size, and Depth. All mainline and independent runs of wire shall be located every 30' for straight runs and at every change of direction. Steves will be located at end points and every 20' of length. All underground items shall include depth in inch format. These POINTS once collected shall be imported into an AutoCAD DWG geo-referenced base file to be labeled accordingly. The completed AS-Built shall be a Geo-Referenced DWG file and delivered to the owner on a compact disk (CD).

2. Controller charts - Upon completion of "as-built" prepare controller charts: one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside of the controller door. The reduction shall be hermatically sealed inside two 2ml pieces of clear plastic.  
3. Grounding Certification - Provide ground certification results for each controller and pump panel grounding grid installed. This must be on a licensed electrician letter head indicating location tested (using IR plan symbols), date, time, test method, and testing results.  
**INSPECTIONS AND COORDINATION MEETINGS REQUIRED** - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owners representative to their satisfaction, as follows:  
1. Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor.  
2. Mainline installation inspection(s) - all mainline must be inspected for proper pipe, fittings, depth of coverage, backfill and installation method.  
3. Mainline pressure test - All mainline shall be pressure tested according to this design's requirements.  
4. Flow Meter calibration - All flow meters must be calibrated, provide certified calibration report for all flow meters.  
5. USDA Soil Quality Tests for infiltration/texture  
6. Coverage and operational test  
7. Final inspection  
8. Punch list inspection  
**FINAL ACCEPTANCE**  
Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.  
1. All above inspections are completed, documented, and approved by owner.  
2. Completion and acceptance of "as-built" drawings.  
3. Acceptance of required controller charts and placement inside of controllers.  
4. All other submittals have been made to the satisfaction of the owner.  
**GUARANTEE:** The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

**MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES**  
1. Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:  
A. Turn on each zone from the controller to verify automatic operation.  
B. Check schedules to ensure they are appropriate for the season, plant, and soil type, and irrigation method. Consult an I.A. certified outdoor for methods used in determining proper irrigation scheduling requirements.  
C. Check remote control valve to ensure proper operation.  
D. Check setting on pressure regulator to verify proper setting. If present.  
E. Check flow control and adjust as needed; ensure valve closure within 10-15 seconds after deactivation by controller.  
F. Check for leaks - mainline, lateral lines, valves, heads, etc.  
G. Check all heads as follows:  
1. Proper set height (top of sprinkler is 1" below mow height)  
2. Verify head pop-up height - 6" in turf, 12" in ground cover, and pop-up on riser in shrub beds.  
3. Check wiper seal for leaks - If leaking, clean head and re-inspect.  
4. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.  
5. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed.  
6. Check for proper alignment - perfectly vertical; coverage area is correct; minimize over spray on hardscapes.  
7. Riser height raised/lowered to accommodate plant growth patterns and ensure proper coverage.  
8. Verify the pop-up riser retracts after operation. If not, repair/replace as needed.  
H. Check controller/C.C.U. grounds for resistance (10 ohms or less) once per year. Submit written reports.  
I. Check rain shut-off device monthly to ensure it functions properly.  
J. Inspect all filters monthly and clean/repair/replace as needed.  
K. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.  
L. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.  
M. Check pump stations for proper operation, pressures, filtration, settings, etc. - refer to pump station operations manual.  
N. Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed.  
O. Winterize, if applicable, as weather in your area dictates. Follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations.  
P. Conduct additional inspections, maintenance tasks, etc. that are particular for your site.  
**Soil Moisture Sensor**  
1. Place all soil moisture sensor wiring in 1" SCH 40 PVC conduit  
2. Soil moisture sensor should be placed in the middle of a spray or drip area as per manufacturer's recommendations.  
3. Controller shall be set to the Florida Automated Weather Network's urban scheduler settings using the SMS as a moisture cut off device (like a rain switch) per manufacturer directions.

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DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

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No.	DATE	REMARKS

**SHEET TITLE:**  
IRRIGATION DETAILS AND NOTES

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**CHECKED BY:** HJ  
**JOB NO.:** 1515

**SHEET NO.:**



**1 IRRIGATION DETAILS AND NOTES**

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**SEAL:**

**ISSUED FOR:** Project Status  
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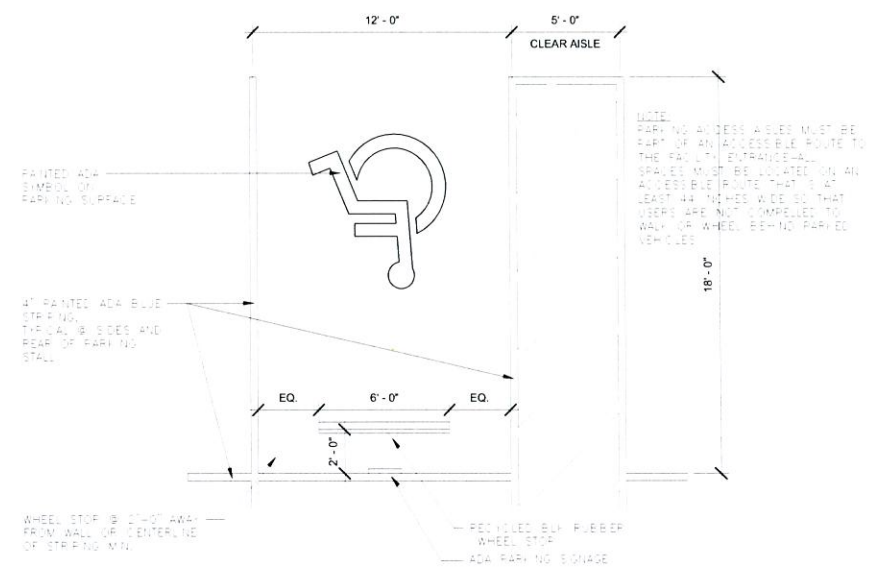
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 SITE & PARKING DETAILS

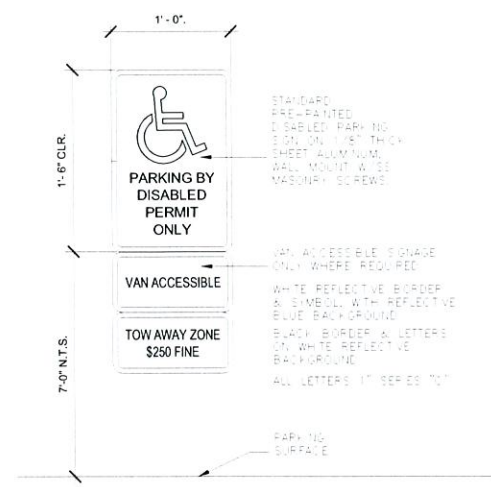
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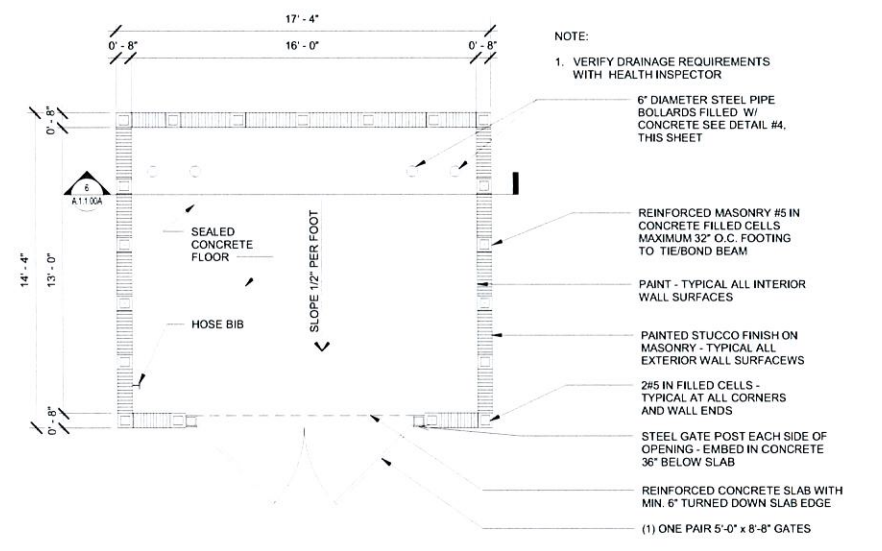
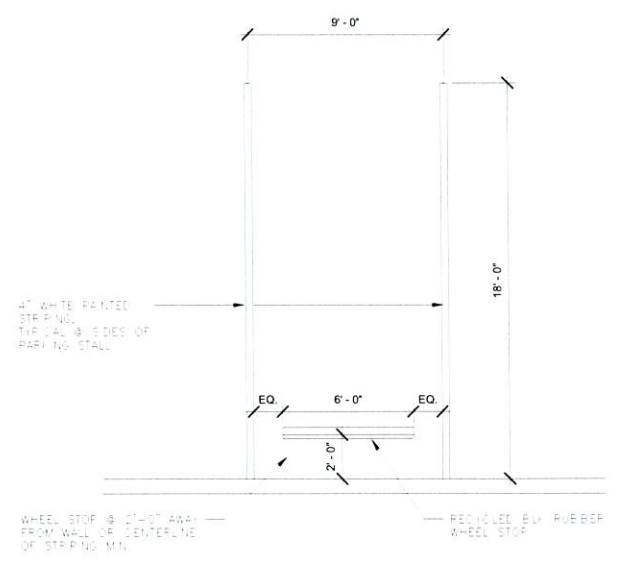
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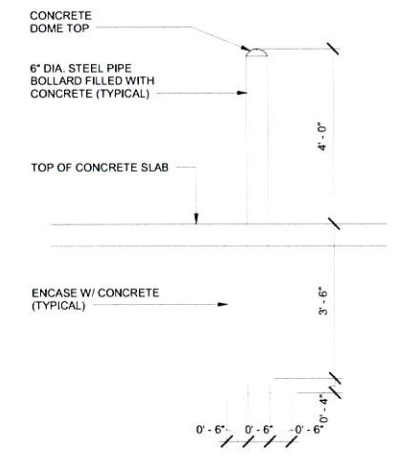
**1 ADA PARKING SPACE DETAILS**  
 1/4" = 1'-0"



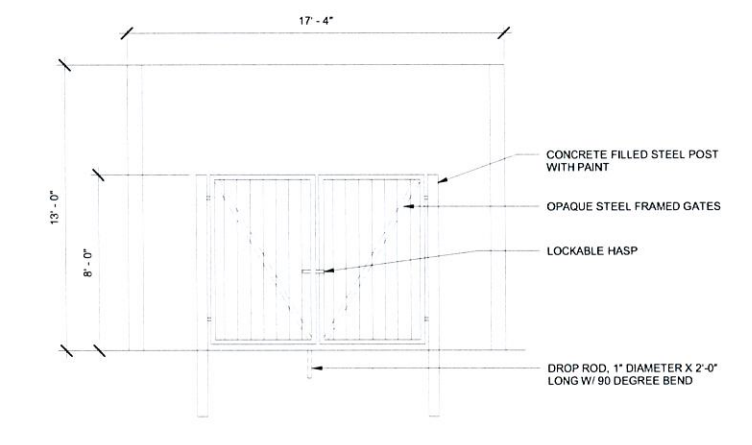
**2 TYPICAL PARKING SPACE**  
 1/4" = 1'-0"



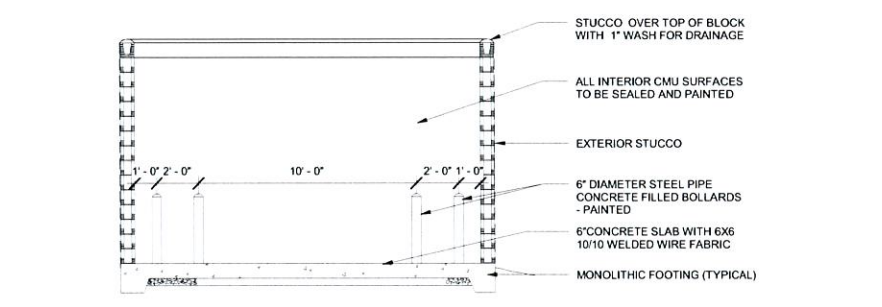
**3 TRASH ENCLOSURE PLAN**  
 1/4" = 1'-0"



**4 BOLLARD DETAIL**



**5 TRASH ENCLOSURE ELEVATION**



**6 TRASH ENCLOSURE SECTION**  
 1/4" = 1'-0"

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 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
 DETECTABLE WARNING &  
 CURB CUT DETAILS

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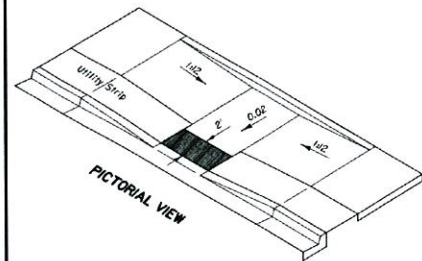
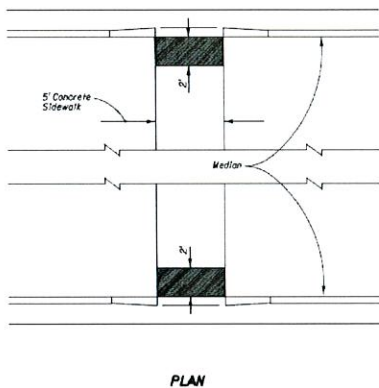
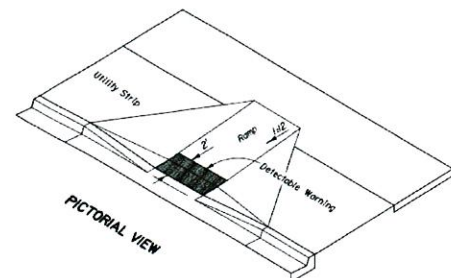
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**SHEET NO.:**

**A.1.1.00B**



**TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMPS**

**NOTE:**

1. PROVIDE DETECTABLE WARNINGS AT ALL CURB RAMPS THAT JOIN A PUBLIC RIGHT OF WAY. CURB RAMPS WITHIN THE PROJECT SITE NOT CROSSING PUBLIC STREETS WILL NOT REQUIRE DETECTABLE WARNING SURFACES. CURB RAMPS SHALL NOT HAVE COMPOUND SLOPES.
2. CURB CUTS TO COMPLY WITH 2010 ADA SECTION 406
3. LANDINGS LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS. THE LANDING CLEAR LENGTH SHALL BE 36 INCHES (915 MM) MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES. LEADING TO THE LANDING.
4. CROSS SLOPE NOT TO EXCEED 1:48 (1/4"/FT) (2.083%) AT ANY POINT.
5. ALL CURB RAMPS ARE REQUIRED TO HAVE LEVEL LANDINGS AT THE TOP. THE FLARED SIDES MUST BE NO STEEPER THAN 10% OR 1:10. THE MAIN SLOPE OF THE CURB RAMP MUST NOT EXCEED 1:12 OR 8.33%.
6. RAMPS ON ACCESSIBLE ROUTES TO COMPLY WITH 2010 ADA SECTION 405. RAMP RUNS SHALL HAVE A SLOPE NOT GREATER THAN 1:12. CROSS SLOPE OF RAMP RUNS SHALL NOT BE GREATER THAN 1:48. THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36" MINIMUM. THE RISE OF A RAMP RUN SHALL BE 30" MAX. LANDINGS AT THE TOP AND BOTTOM OF RAMPS SHALL BE AT LEAST AS WIDE AS THE RAMP AND 60" LONG MINIMUM. RAMPS WITH A RISE GREATER THAN 6" SHALL HAVE HANDRAILS COMPLYING WITH 2010 ADA SECTION 505. EDGE PROTECTION IN COMPLIANCE WITH 2010 ADA 405.9.1 OR 405.9.2 SHALL BE PROVIDED ON EACH SIDE OF RAMP RUN AND EACH SIDE OF RAMP LANDINGS.

**406 Curb Ramps**

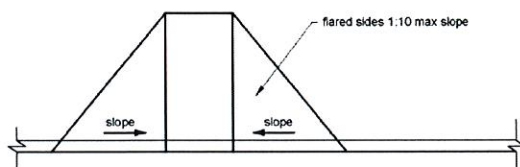
**406.1 General.** Curb ramps on accessible routes shall comply with 406, 405.2 through 405.5, and 405.10.

**406.2 Counter Slope.** Counter slopes of adjoining gutters and road surfaces immediately adjacent to the curb ramp shall not be steeper than 1:20. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.



**Figure 406.2**  
 Counter Slope of Surfaces Adjacent to Curb Ramps

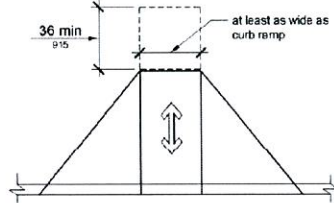
**406.3 Sides of Curb Ramps.** Where provided, curb ramp flares shall not be steeper than 1:10.



**Figure 406.3**  
 Sides of Curb Ramps

**406.4 Landings.** Landings shall be provided at the tops of curb ramps. The landing clear length shall be 36 inches (915 mm) minimum. The landing clear width shall be at least as wide as the curb ramp, excluding flared sides, leading to the landing.

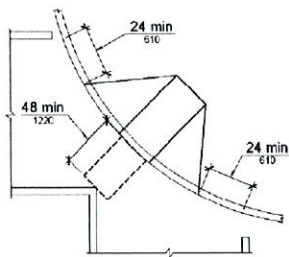
**EXCEPTION:** In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.



**Figure 406.4**  
 Landings at the Top of Curb Ramps

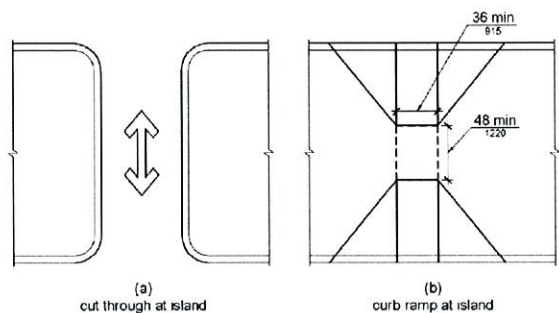
**406.5 Location.** Curb ramps and the flared sides of curb ramps shall be located so that they do not project into vehicular traffic lanes, parking spaces, or parking access aisles. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides.

**406.6 Diagonal Curb Ramps.** Diagonal or corner type curb ramps with returned curbs or other well-defined edges shall have the edges parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have a clear space 48 inches (1220 mm) minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches (1220 mm) minimum clear space within the markings. Diagonal curb ramps with flared sides shall have a segment of curb 24 inches (610 mm) long minimum located on each side of the curb ramp and within the marked crossing.

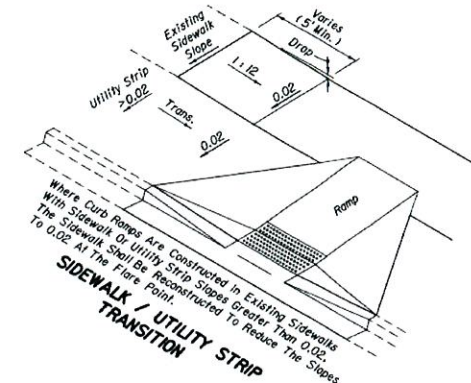
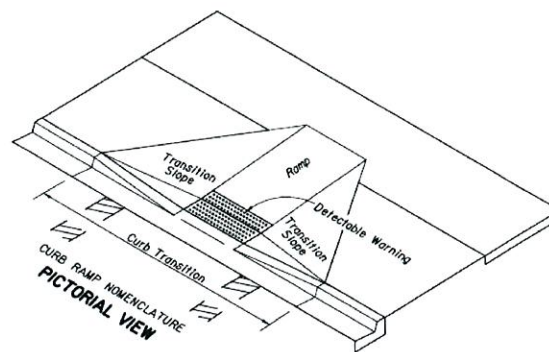


**Figure 406.6**  
 Diagonal or Corner Type Curb Ramps

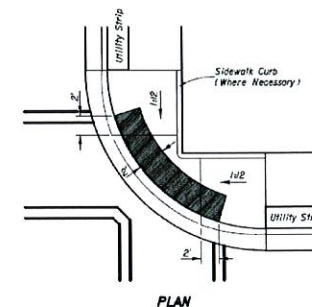
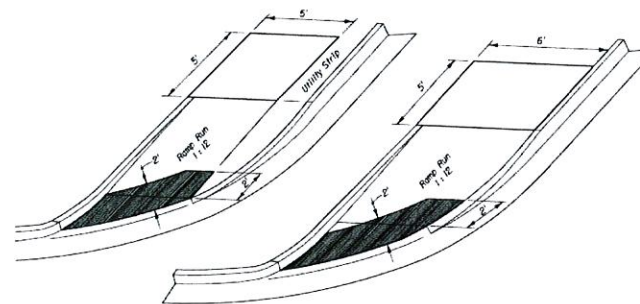
**406.7 Islands.** Raised islands in crossings shall be cut through level with the street or have curb ramps at both sides. Each curb ramp shall have a level area 48 inches (1220 mm) long minimum by 36 inches (915 mm) wide minimum at the top of the curb ramp in the part of the island intersected by the crossings. Each 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum area shall be oriented so that the 48 inch (1220 mm) minimum length is in the direction of the running slope of the curb ramp it serves. The 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum areas and the accessible route shall be permitted to overlap.



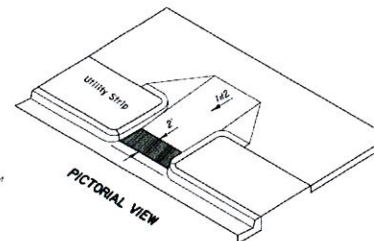
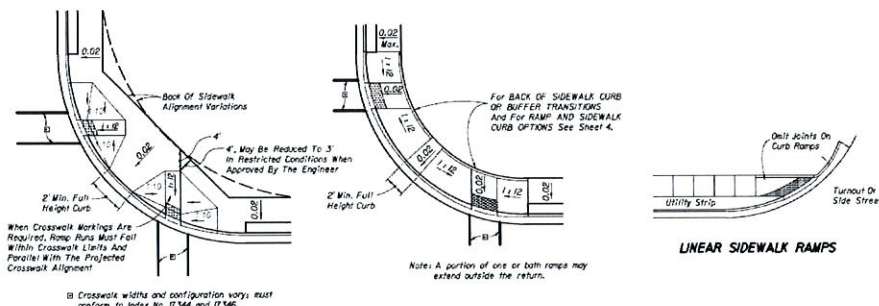
**Figure 406.7**  
 Islands in Crossings



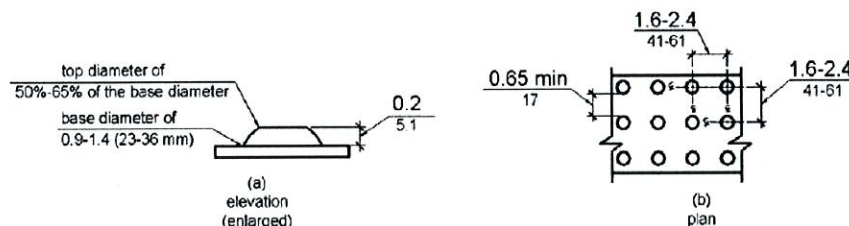
**TYPICAL PLACEMENT OF PUBLIC SIDEWALK CURB RAMPS AT CURBED RETURNS**



**TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMPS**



**TYPICAL PLACEMENT OF PUBLIC SIDEWALK CURB RAMPS AT CURBED RETURNS**



**Figure 705.1**  
 Size and Spacing of Truncated Domes

100.

**705.1.1 Dome Size.** Truncated domes in a detectable warning surface shall have a base diameter of 0.9 inch (23 mm) minimum and 1.4 inches (36 mm) maximum, a top diameter of 50 percent of the base diameter minimum to 65 percent of the base diameter maximum, and a height of 0.2 inch (5.1 mm).

**705.1.2 Dome Spacing.** Truncated domes in a detectable warning surface shall have a center-to-center spacing of 1.6 inches (41 mm) minimum and 2.4 inches (61 mm) maximum, and a base-to-base spacing of 0.65 inch (17 mm) minimum, measured between the most adjacent domes on a square grid.

**705.1.3 Contrast.** Detectable warning surfaces shall contrast visually with adjacent walking surfaces either light-on-dark, or dark-on-light.

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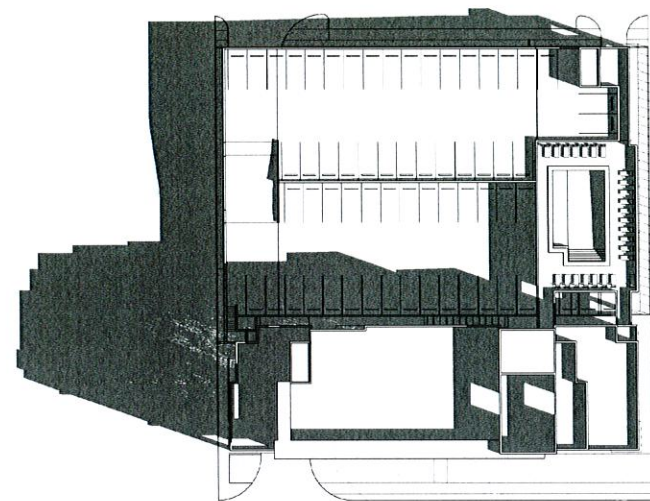
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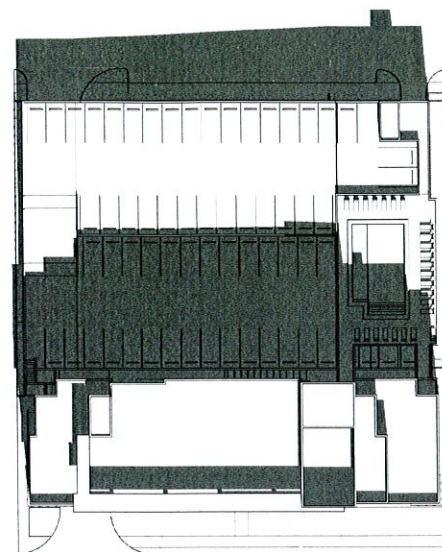
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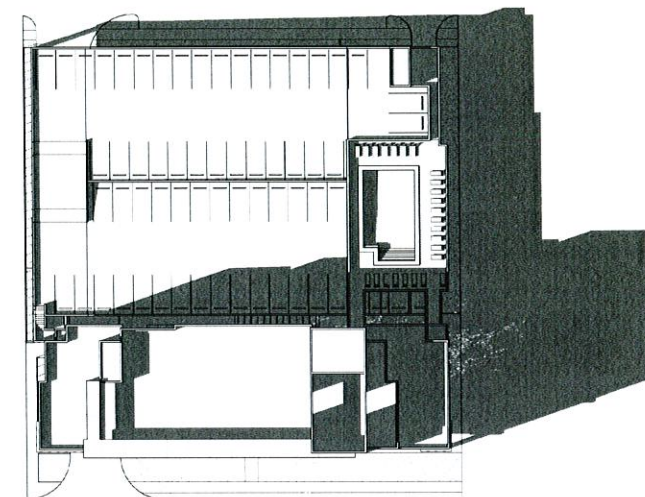
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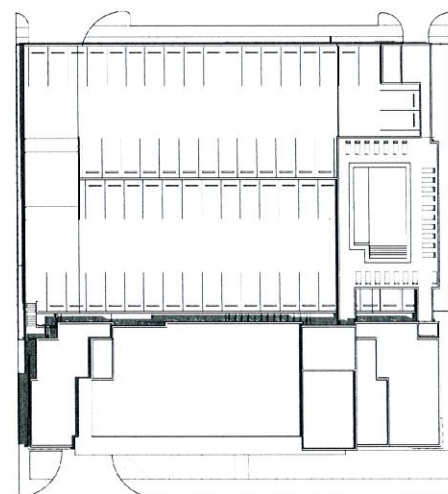
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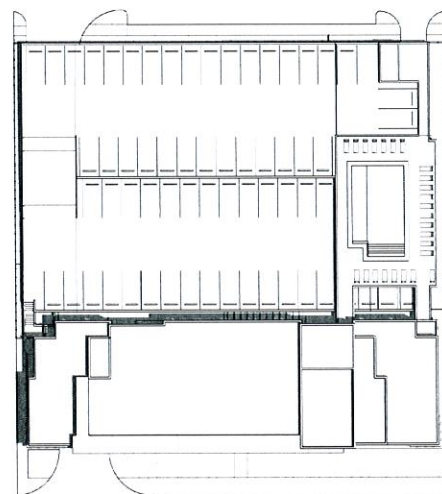
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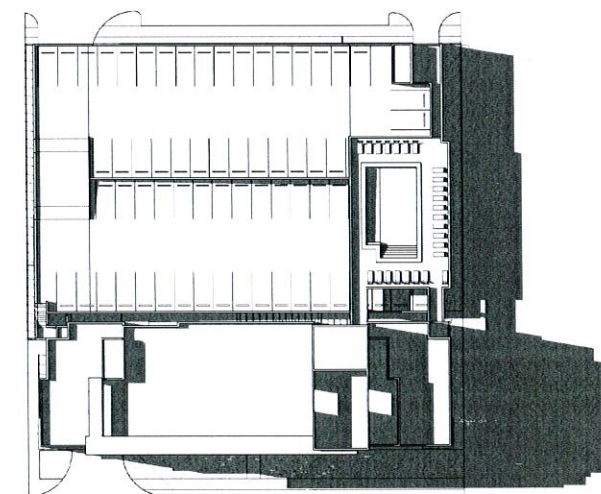
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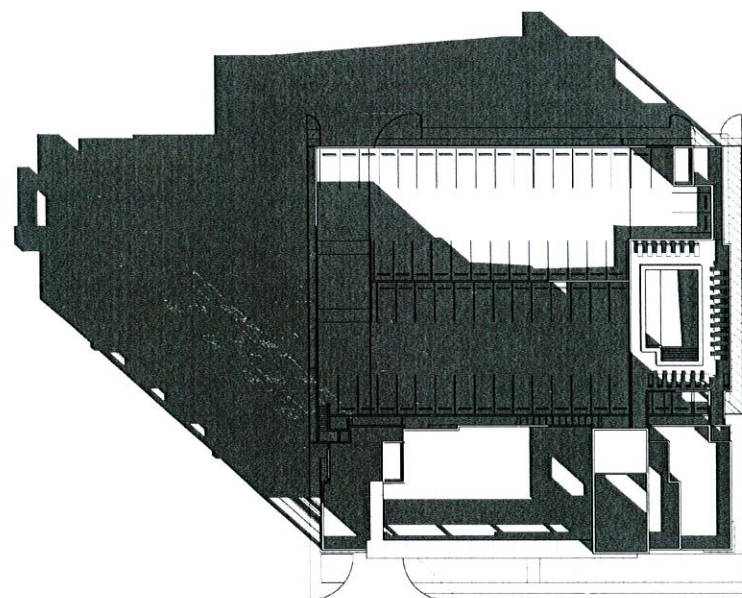
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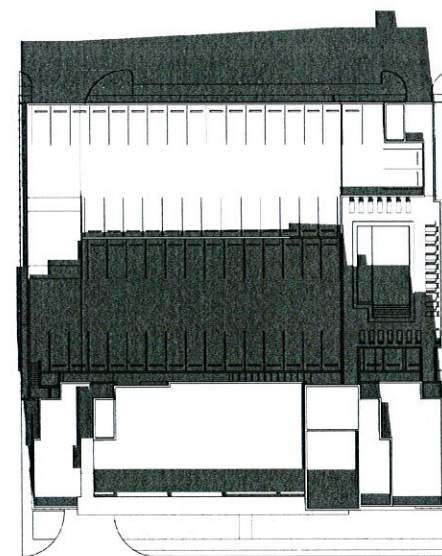
5 JUNE 22\_12PM



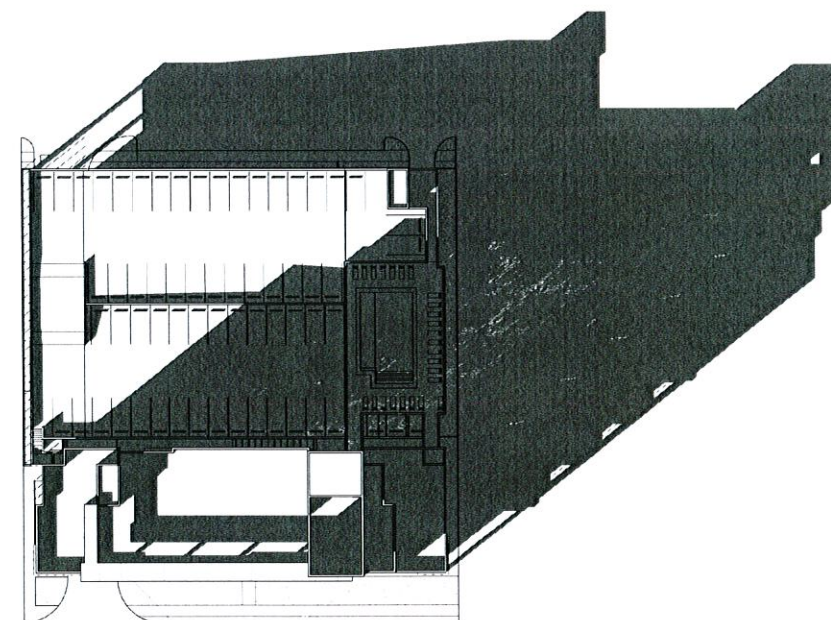
6 JUNE 22\_4PM



7 DECEMBER 22\_9AM



8 DECEMBER 22\_12PM



9 DECEMBER 22\_4PM



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**OWNER:** ADI GLOBAL  
 2028 HARRISON ST., SUITE #202  
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**PROJECT:** WYNDHAM GARDEN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

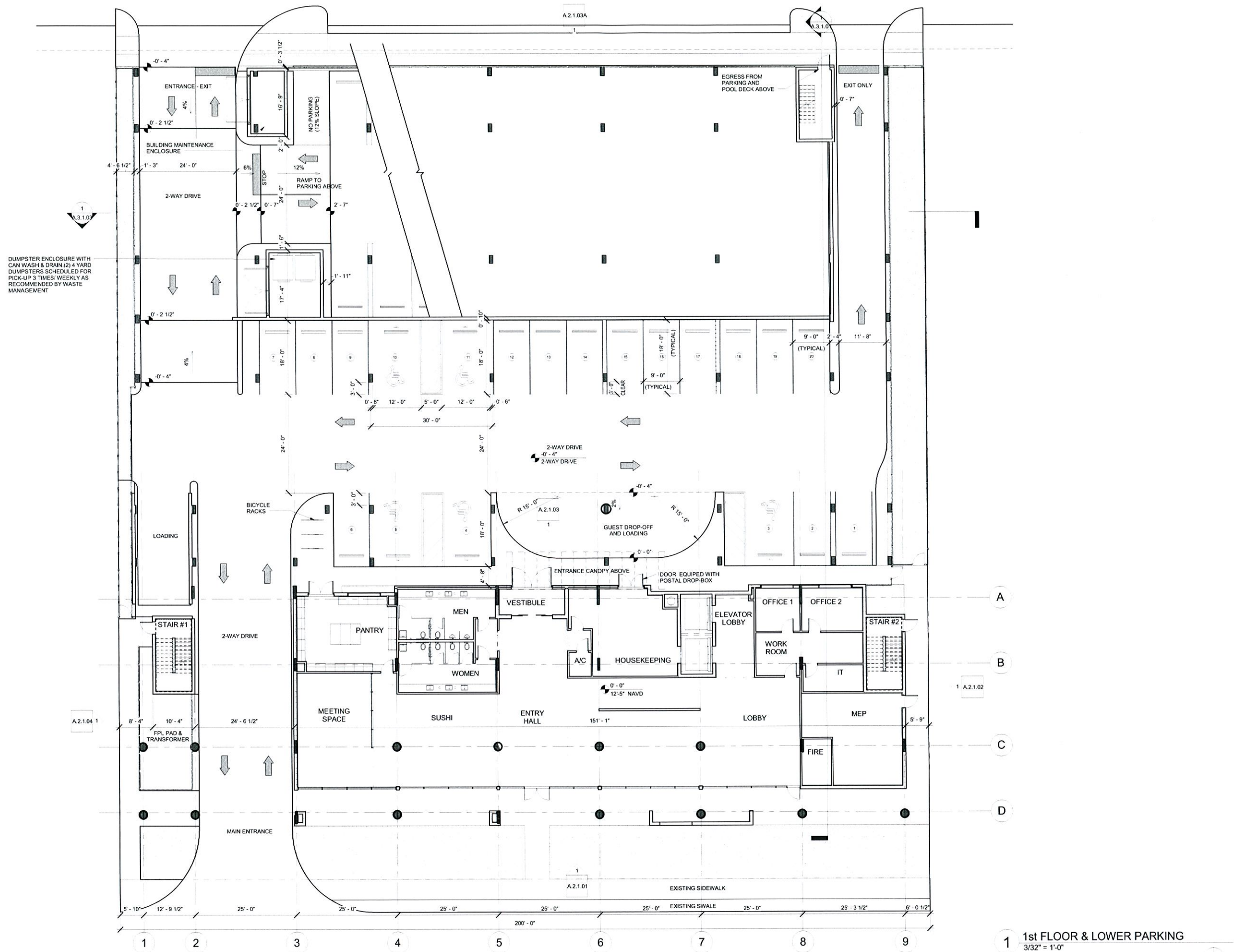
No.	DATE	REMARKS

**SHEET TITLE:**  
 1st FLOOR - HOTEL AND LOWER PARKING LEVEL

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**DATE:** 03/17/15  
**SCALE:** 3/32" = 1'-0"  
**DRAWN BY:** SK  
**CHECKED BY:** TP  
**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.1.1.02**



**1 1st FLOOR & LOWER PARKING**  
 3/32" = 1'-0"



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**PROJECT DESIGN TEAM:**

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**OWNER:**  
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**PROJECT:**  
**WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

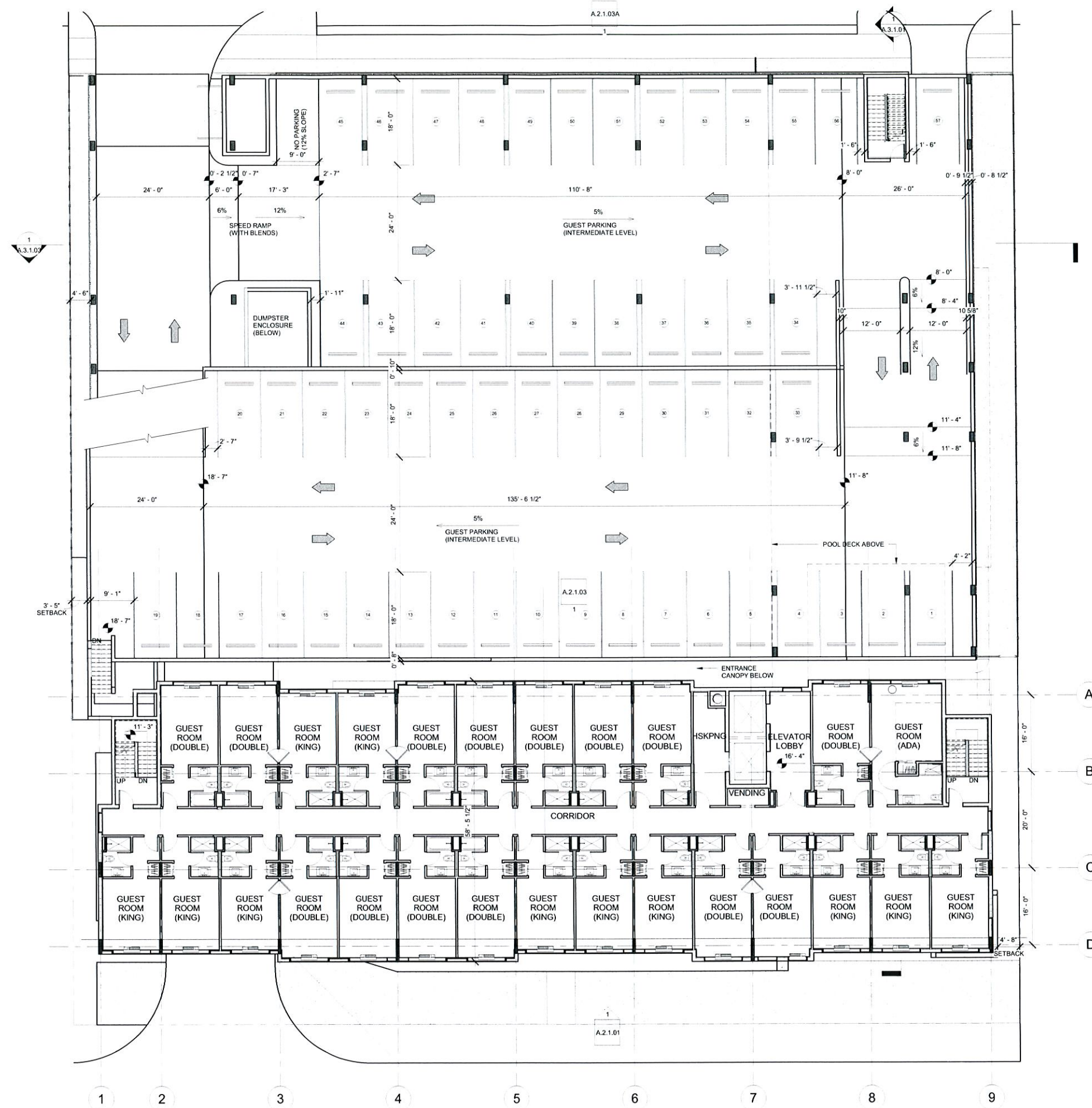
No.	DATE	REMARKS

**SHEET TITLE:**  
**2nd FLOOR & INTERMEDIATE PARKING LEVELS**

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. ALL RIGHTS RESERVED, © 2015  
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**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.1.1.03**



**1** 2nd FLOOR & INTERMEDIATE PARKING  
 3/32" = 1'-0"



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**PROJECT DESIGN TEAM:**

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**OWNER:**  
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**PROJECT:**  
**WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

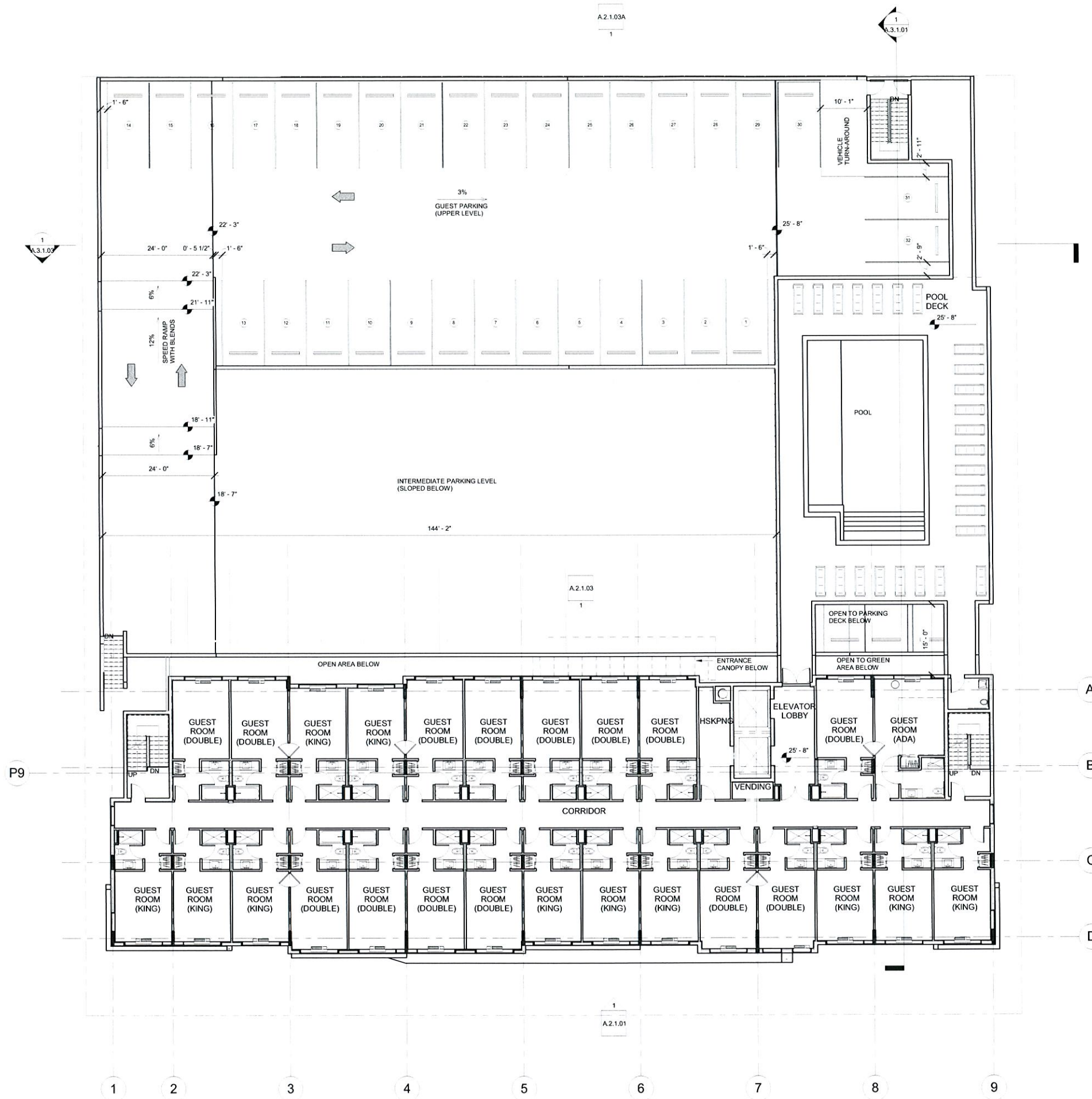
REVISIONS:		
No.	DATE	REMARKS

**SHEET TITLE:**  
**3rd FLOOR & UPPER PARKING LEVEL**

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**SHEET NO.:**  
**A.1.1.04**



1 3rd FLOOR & UPPER PARKING



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**PROJECT DESIGN TEAM:**

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**OWNER:** **ADI GLOBAL**  
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**PROJECT:**  
**WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
 4th & 5th FLOOR PLANS

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**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.1.1.05**



1 4th FLOOR PLAN



2 5th FLOOR PLAN



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**PROJECT:** WYNDHAM GARDEN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
 6th & 7th FLOOR PLANS

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**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.1.1.06**



1 6th FLOOR PLAN



2 7th FLOOR PLAN



**PROJECT DESIGN TEAM:**  
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 DANIA BEACH, FLORIDA 33034

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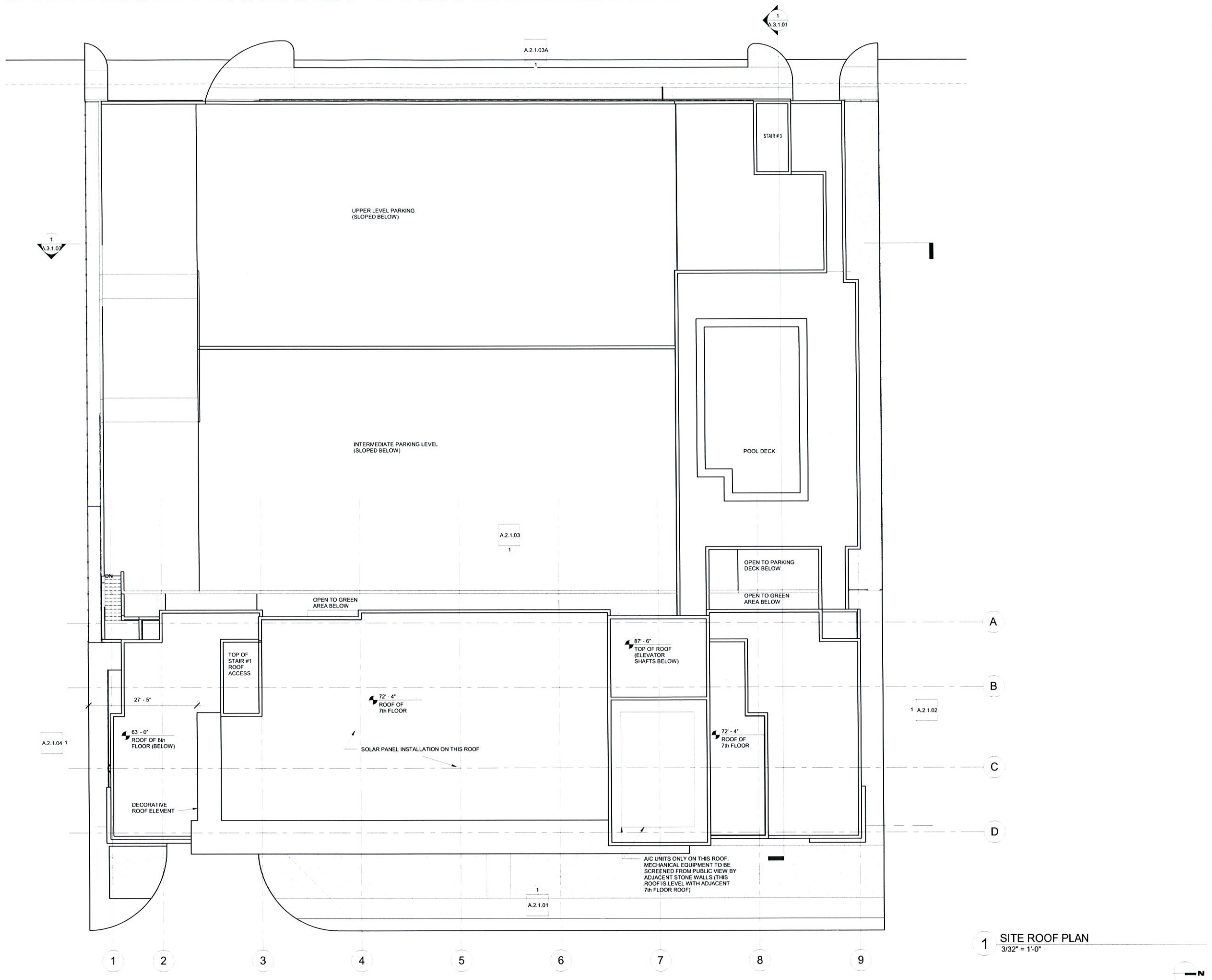
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**SHEET TITLE:**  
 SITE ROOF PLAN

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**DRAWN BY:** Author  
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**JOB NO.:** 44.07A

**SHEET NO.:**  
 A.1.1.07



**1 SITE ROOF PLAN**  
 3/32" = 1'-0"

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**PROJECT DESIGN TEAM:**  
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**PROJECT:** WYNDHAM GARDEN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
 1st - 5th FLOOR LIFE SAFETY PLANS

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**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
 A.1.2.01

**LIFE SAFETY LEGEND**

SYMBOL	DESCRIPTION
	DIRECTIONAL EXIT SIGN
	EMERGENCY LIGHTING, (COORDINATE WITH ELEC. DRAWINGS)
	FIRE EXTINGUISHER - FULLY RECESSED WHERE APPLICABLE (ADA COMPLIANT). EVERY 75' TO 150' MAX. DISTANCE FROM ANY LOCATION
	NO. OF OCCUPANTS DENOTES ALLOWABLE NUMBER OF OCCUPANTS (LIMITING CAPACITY BASED ON DOOR SIZE - REFER TO EXIT CAPACITY CHARTS)
	FIRE ALARM/ HORN STROBE
	FIRE ALARM STROBE
	FIRE ALARM MANUAL PULL STATION
	SMOKE DETECTOR
	EGRESS WIDTH (INCHES)
	EGRESS LOAD (PERSONS)
	1 HOUR FIRE RATED WALL - OCCUPANCY SEPARATION - 45 MIN. OPENING ELEVATOR LOBBY - 20 MIN. OPENING CORRIDOR - 20 MIN. OPENING
	2 HOUR FIRE RATED WALL - 90 MIN. OPENING (U.L. No U419 @ CONC. WALLS)
	3 HOUR FIRE RATED WALL - 3 HOUR OPENING
	4 HOUR FIRE RATED WALL - 4 HOUR OPENING
	TOTAL EGRESS TRAVEL DISTANCE
	DENOTES SMOKE PARTITION

**GENERAL NOTES**

- ALL CORRIDOR WALLS TO BE 1 HOUR FIRE RATED.
- ALL UNIT DIVIDING WALLS TO BE 1 HOUR FIRE RATED.
- FLOOR / CEILING ASSEMBLIES TO BE 2 HOUR FIRE RATED.
- EXTERIOR WALLS TO BE MINIMUM 1 HOUR FIRE RATED.
- VERTICAL SHAFTS AND PENETRATIONS TO BE 2 HOUR FIRE RATED.
- FOR ADDITIONAL INFORMATION REFER TO EQUIPMENT DRAWINGS.

**LIFE SAFETY NOTES**

- COORDINATE FIRE DEVICES AND PANELS WITH FIRM ALARM DRAWINGS.
- REFER TO FIRE PROTECTION DRAWINGS FOR SPRINKLER HEAD LOCATIONS.
- REFER TO MECHANICAL DRAWINGS FOR SMOKE AND DETECTOR LOCATIONS.
- FOR ADDITIONAL INFORMATION REFER TO EQUIPMENT DRAWINGS.

**MAX. TRAVEL DISTANCES**

POOL DECK	250'
PUBLIC SPACES/ ASSEMBLY	250'
MECHANICAL ROOMS	100'
WITHIN GUEST ROOMS	125'
GUEST ROOM DOOR TO STAIR	200'

**1st FLOOR - OCCUPANT LOADS**

OCCUPANCY	AREA	OCCUPANCY FACTOR	OCCUPANT LOAD
ASSEMBLY	3306	15	221
ASSEMBLY (MEETING)	520	7	74
BUSINESS	499	100	5
HOUSEKEEPING	488	100	5
KITCHEN	440	100	4
MECHANICAL	678	300	2
RESTROOMS	536	100	6
	6467		317

**1st FLOOR - EXIT CAPACITY**

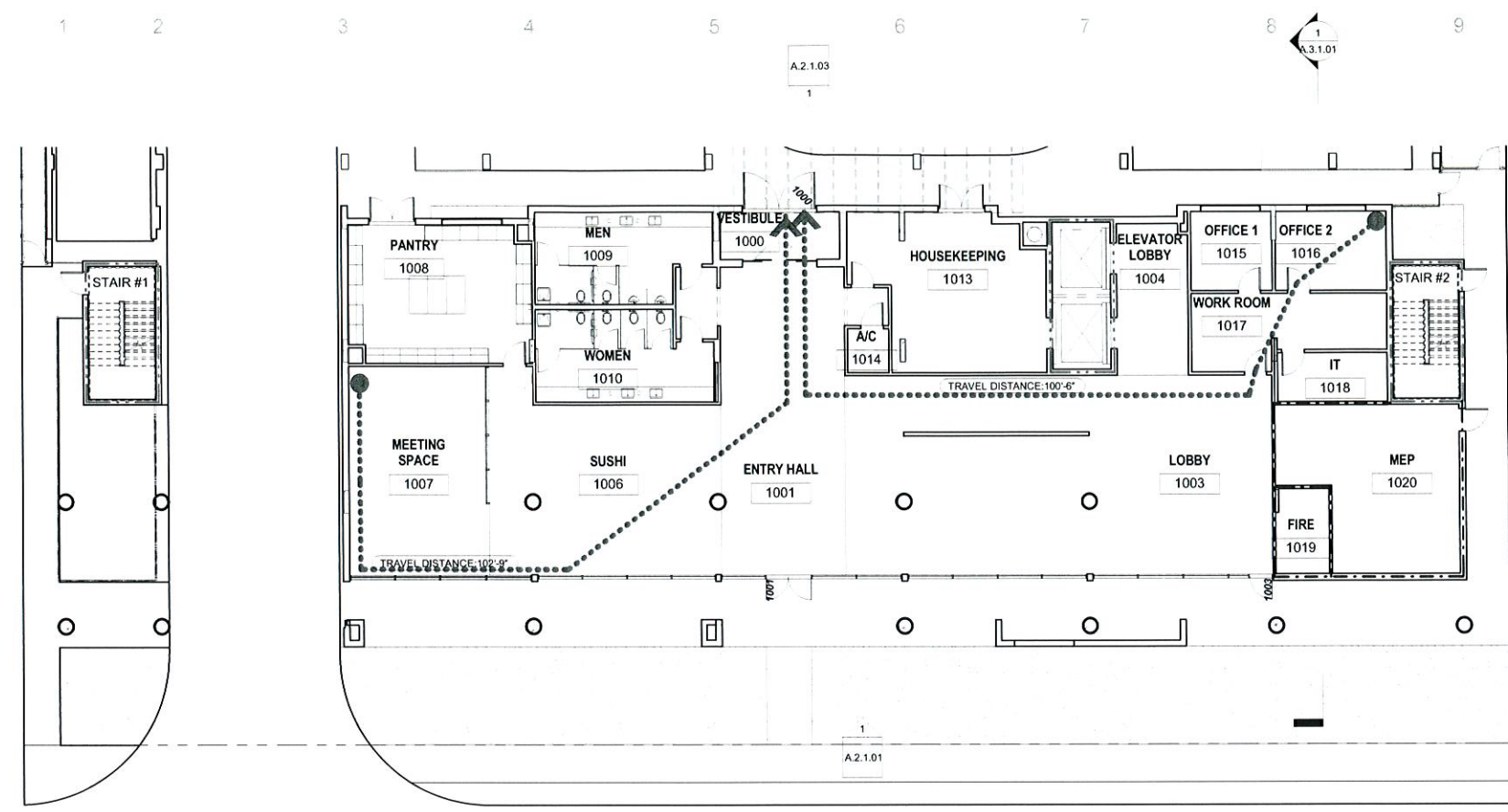
DOOR NUMBER	DOOR WIDTH	CLEAR OPENING	FACTOR	MAX. CAPACITY
1000	10' - 0"	9' - 10"	0.2	590
1001	6' - 0"	5' - 10"	0.2	350
1003	3' - 1"	2' - 11"	0.2	174
				1,114

**2nd FLOOR - OCCUPANT LOADS**

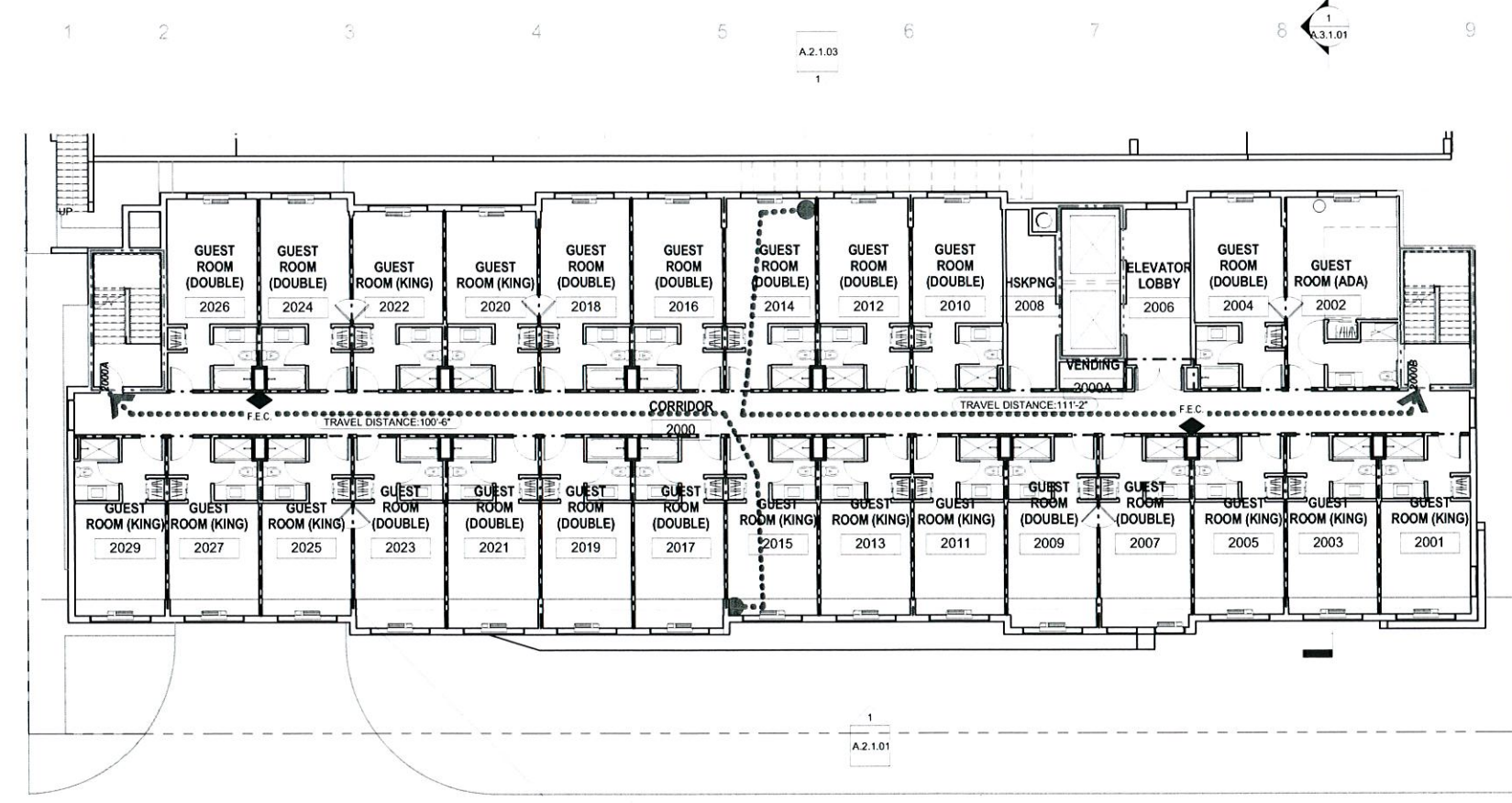
OCCUPANCY	AREA	OCCUPANCY FACTOR	OCCUPANT LOAD
HOUSEKEEPING	145 SF	100	2
RESIDENTIAL	7,687 SF	200	38
	7,831 SF		40

**2nd FLOOR - EXIT CAPACITY**

HORIZONTAL EGRESS CAPACITY				VERTICAL EGRESS CAPACITY			
DOOR #	DOOR CLEAR WIDTH	DOOR CLEAR FACTOR	MAX. OCC.	MAX. STAIR WIDTH	MAX. STAIR FACTOR	MAX. STAIR OCC.	LIMITING CAPACITY
2000A	3' - 0"	2' - 9"	0.2	165	4' - 0"	0.3	160
2000B	3' - 0"	2' - 9"	0.2	165	4' - 0"	0.3	160



1 LIFE SAFETY - 1st FLOOR PLAN, HOTEL  
 3/32" = 1'-0"



2 LIFE SAFETY - 2nd THRU 5th FLOOR PLAN, HOTEL

## PROJECT DESIGN TEAM:

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**OWNER:** ADI GLOBAL  
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**PROJECT:** WYNDHAM  
**GARDEN**  
129 NORTH FEDERAL HIGHWAY  
DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
6th & 7th FLOOR LIFE SAFETY  
PLANS

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. ALL RIGHTS RESERVED, © 2015  
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**DATE:** 04/09/15

**SCALE:** As indicated

**DRAWN BY:** Author

**CHECKED BY:** Checker

**JOB NO.:** 44.07A

**SHEET NO.:**

**A.1.2.02**

### LIFE SAFETY LEGEND

SYMBOL	DESCRIPTION
	DIRECTIONAL EXIT SIGN
	EMERGENCY LIGHTING (COORDINATE WITH ELEC. DRAWINGS)
	FIRE EXTINGUISHER - FULLY RECESSED WHERE APPLICABLE (ADA COMPLIANT). EVERY 75 TO 150' MAX. DISTANCE FROM ANY LOCATION
	DENOTES ALLOWABLE NUMBER OF OCCUPANTS (LIMITING CAPACITY) BASED ON DOOR SIZE - REFER TO EXIT CAPACITY CHARTS
	FIRE ALARM HORN STROBE
	FIRE ALARM STROBE
	FIRE ALARM MANUAL PULL STATION
	SMOKE DETECTOR
	EGRESS WIDTH (INCHES)
	EGRESS LOAD (PERSONS)
	1 HOUR FIRE RATED WALL - OCCUPANCY SEPARATION - 45 MIN. OPENING ELEVATOR LOBBY - 20 MIN. OPENING CORRIDOR - 20 MIN. OPENING
	2 HOUR FIRE RATED WALL - 90 MIN. OPENING (U.L. No. U419 @ CONC. WALLS)
	3 HOUR FIRE RATED WALL - 3 HOUR OPENING
	4 HOUR FIRE RATED WALL - 4 HOUR OPENING
	TOTAL EGRESS TRAVEL DISTANCE
	DENOTES SMOKE PARTITION

- ### GENERAL NOTES
- ALL CORRIDOR WALLS TO BE 1 HOUR FIRE RATED.
  - ALL UNIT DEMISING WALLS TO BE 1 HOUR FIRE RATED.
  - FLOOR / CEILING ASSEMBLIES TO BE 2 HOUR FIRE RATED.
  - EXTERIOR WALLS TO BE MINIMUM 1 HOUR FIRE RATED.
  - VERTICAL SHAFTS AND PENETRATIONS TO BE 2 HOUR FIRE RATED.
  - INFORMATION ON THIS LIFE SAFETY SHEET IS FOR REFERENCE ONLY.

- ### LIFE SAFETY NOTES
- COORDINATE FIRE DEVICES AND PANELS WITH FIRM ALARM DRAWINGS.
  - REFER TO FIRE PROTECTION DRAWINGS FOR SPRINKLER HEAD LOCATIONS.
  - REFER TO MECHANICAL DRAWINGS FOR SMOKE AND DETECTOR LOCATIONS.
  - FOR ADDITIONAL INFORMATION REFER TO EQUIPMENT DRAWINGS.

### MAX. TRAVEL DISTANCES

POOL DECK	250'
PUBLIC SPACES / ASSEMBLY	250'
MECHANICAL ROOMS	100'
WITHIN GUEST ROOMS	125'
GUEST ROOM DOOR TO STAIR	200'

### 6th FLOOR - OCCUPANT LOADS

OCCUPANCY	AREA	OCCUPANCY FACTOR	OCCUPANT LOAD
HOUSEKEEPING	537 SF	100	6
RESIDENTIAL	6,748 SF	200	34
	7,285 SF		40

### 6th FLOOR - EXIT CAPACITY

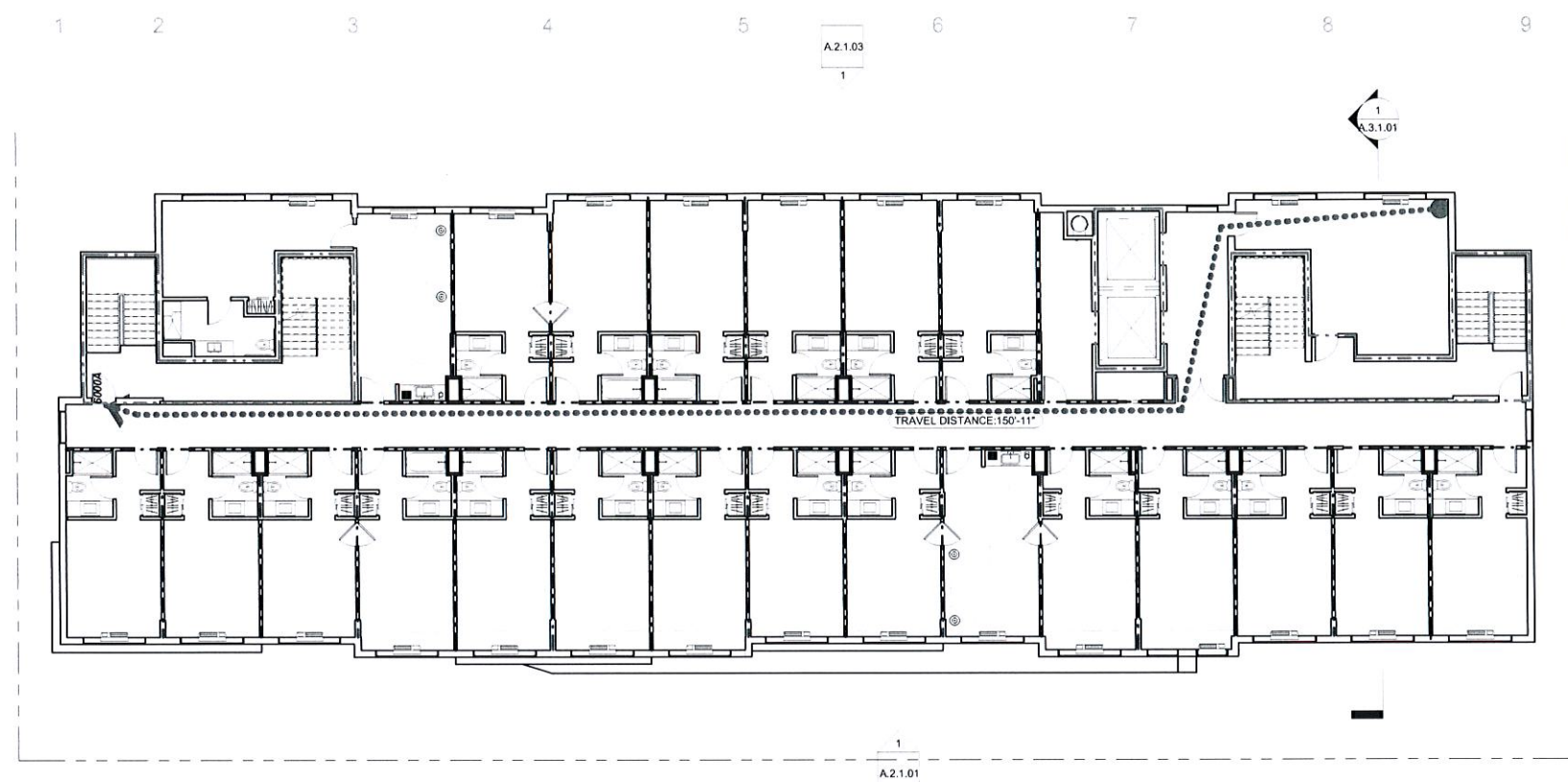
DOOR #	HORIZONTAL EGRESS CAPACITY			VERTICAL EGRESS CAPACITY			LIMITING CAPACITY
	DOOR CLEAR WIDTH	CLEAR WIDTH FACTOR	OCC.	STAIR WIDTH	STAIR WIDTH FACTOR	OCC.	
6000A	3'-0"	2'-9"	0.2*	165	4'-0"	0.3*	160

### 7th FLOOR - OCCUPANT LOADS

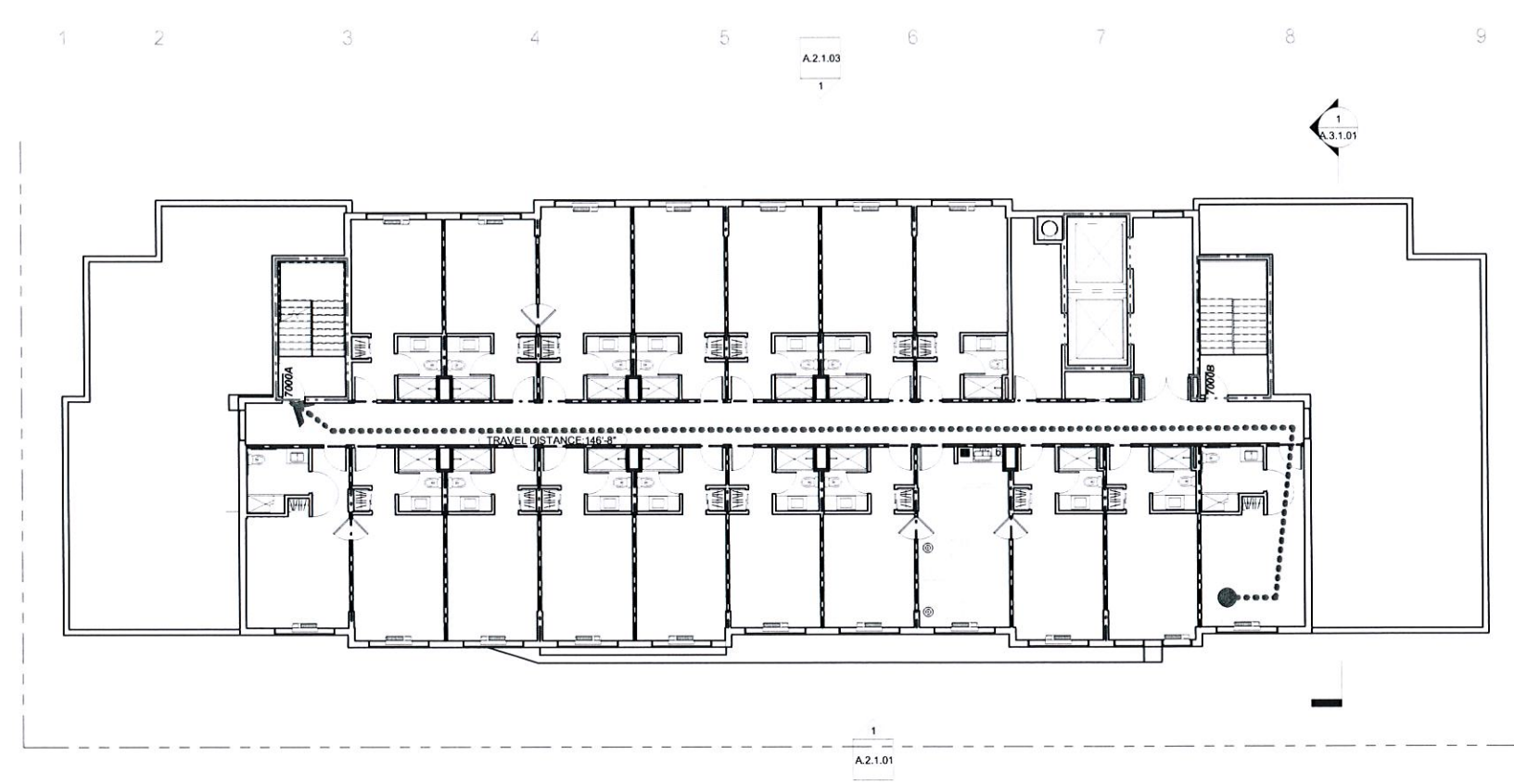
OCCUPANCY	AREA	OCCUPANCY FACTOR	OCCUPANT LOAD
HOUSEKEEPING	537 SF	100	6
RESIDENTIAL	6,748 SF	200	34
	7,285 SF		40

### 7th FLOOR - EXIT CAPACITY

DOOR #	HORIZONTAL EGRESS CAPACITY			VERTICAL EGRESS CAPACITY			LIMITING CAPACITY
	DOOR CLEAR WIDTH	CLEAR WIDTH FACTOR	OCC.	STAIR WIDTH	STAIR WIDTH FACTOR	OCC.	
7000A	3'-0"	2'-9"	0.2*	165	4'-0"	0.3*	160
7000B	3'-0"	2'-9"	0.2*	165	4'-0"	0.3*	160



1 LIFE SAFETY - 6th FLOOR PLAN, HOTEL



2 LIFE SAFETY - 7th FLOOR PLAN, HOTEL

C:\Users\akumar\Documents\07.15.DRC.3 - WYNDHAM GARDEN RIN - akumar.rvt 7/6/2015 7:42:23 PM

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**OWNER:** ADI GLOBAL  
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**PROJECT:** WYNDHAM GARDEN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

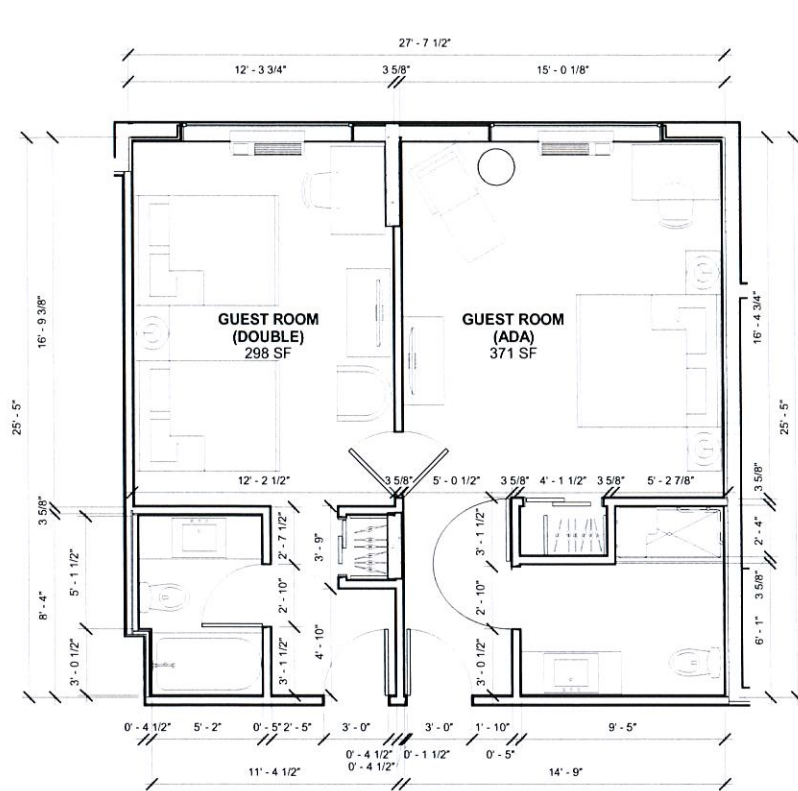
No.	DATE	REMARKS

**SHEET TITLE:**  
 ENLARGED UNITS

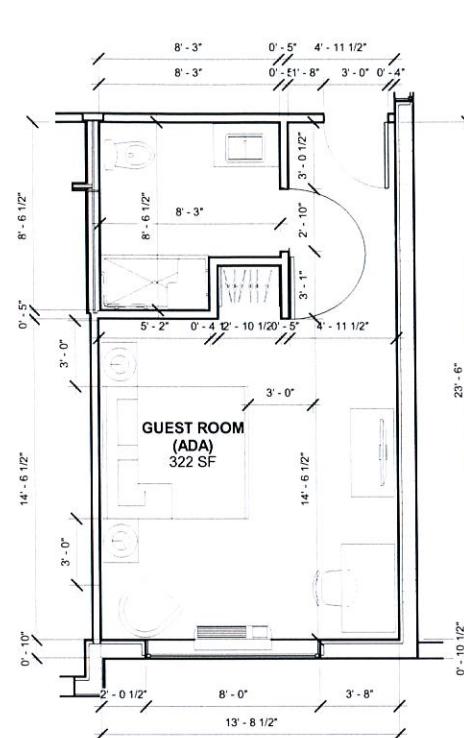
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**DATE:** 08/11/15  
**SCALE:** 1/4" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

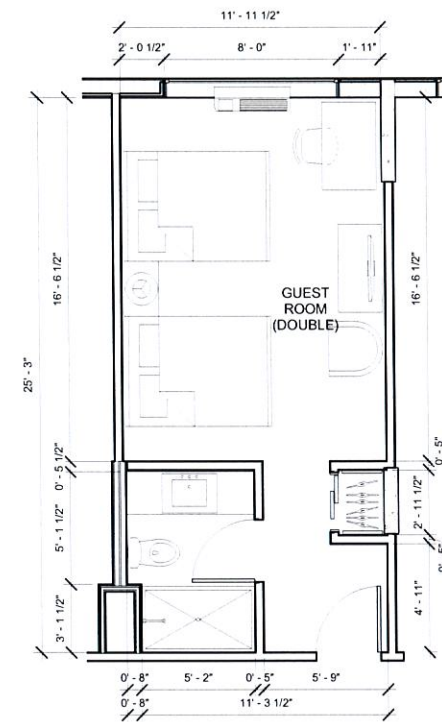
**SHEET NO.:**  
**A-1.3.01**



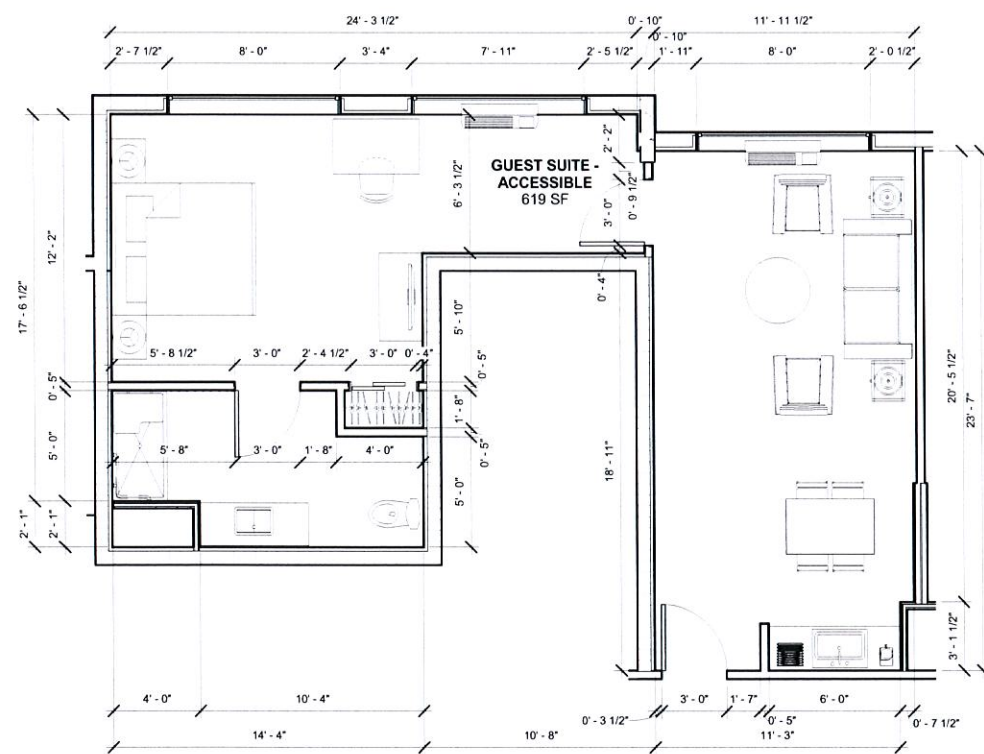
**1 GUESTROOM ADA - CONNECTOR**  
 1/4" = 1'-0"



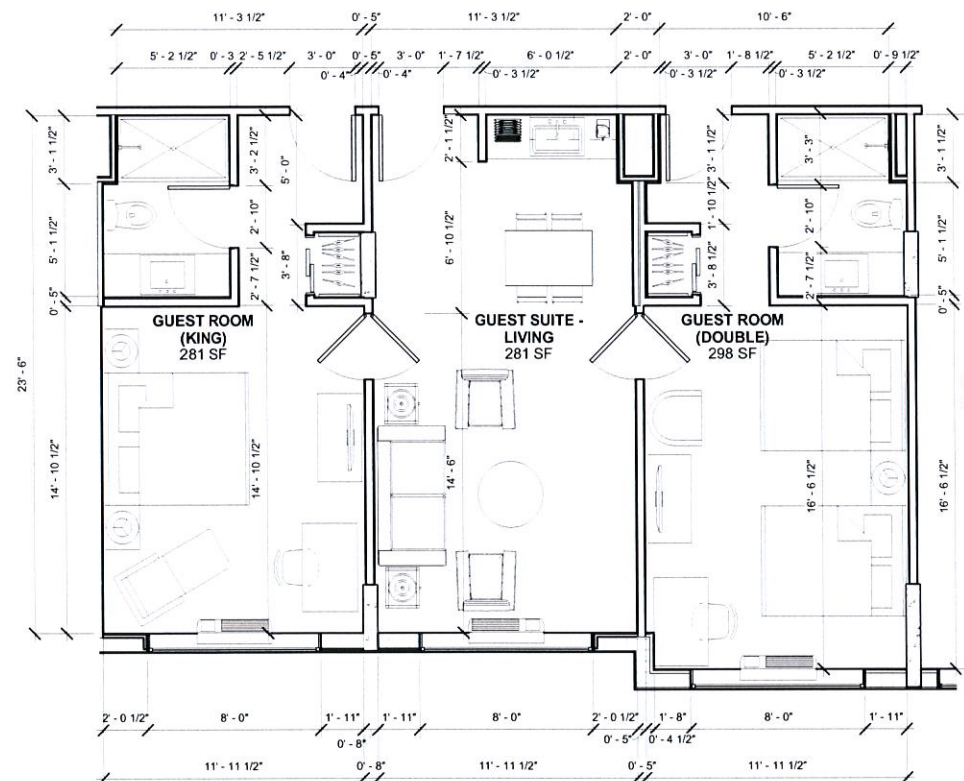
**2 GUEST ROOM ADA**  
 1/4" = 1'-0"



**3 GUEST ROOM DOUBLE**  
 1/4" = 1'-0"



**4 GUEST SUITE ACCESSIBLE**  
 1/4" = 1'-0"



**5 GUEST ROOM SUITE-CONNECTOR**  
 1/4" = 1'-0"

C:\Users\skubner\Documents\07.15.DWG 3 - WYNDHAM GARDEN INN.skubner.rvt 7/6/2015 7:41:30 PM

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**PROJECT:**  
**WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

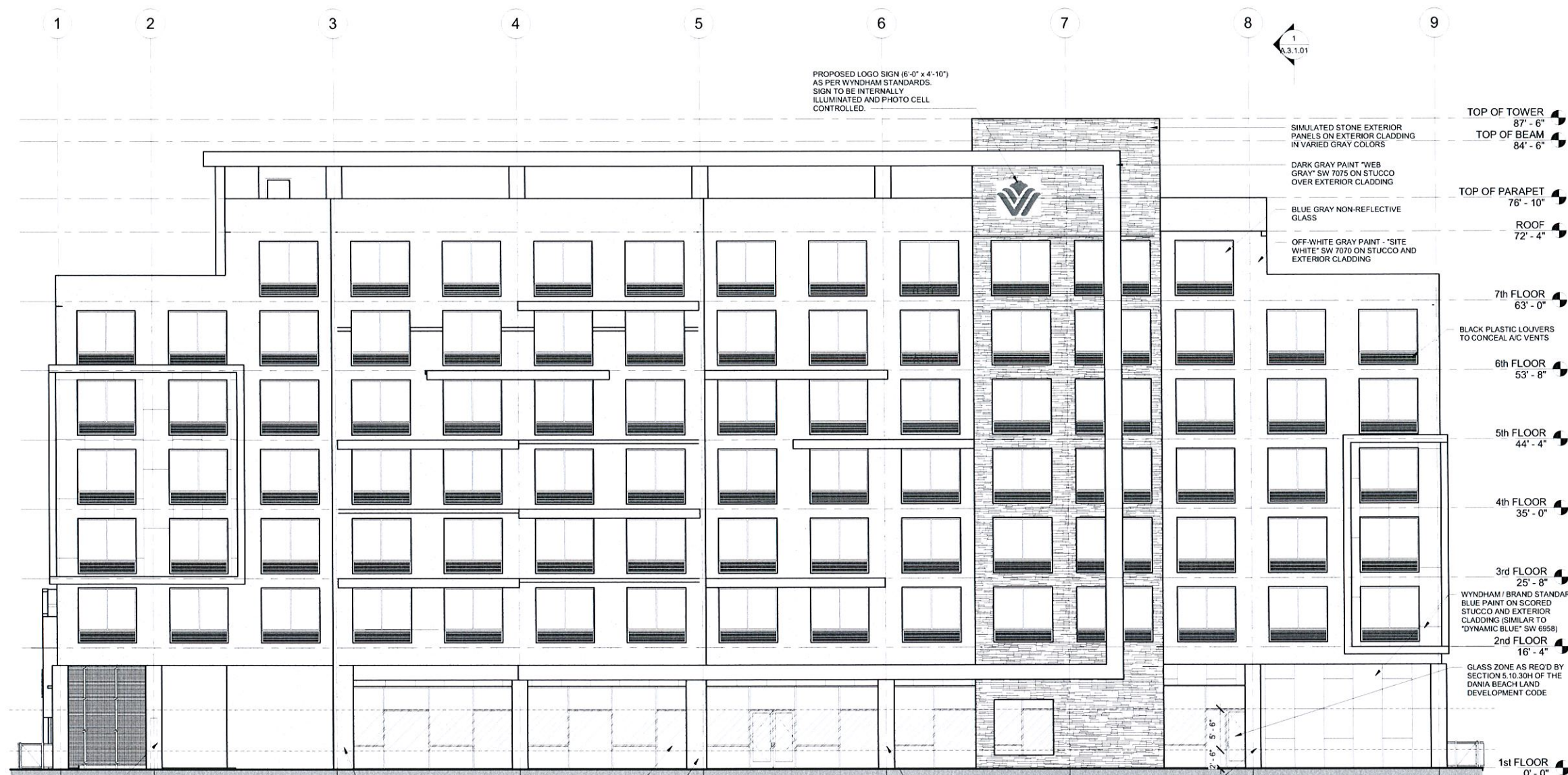
No.	DATE	REMARKS

**SHEET TITLE:**  
**EAST ELEVATION**

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. ALL RIGHTS RESERVED. © 2015  
 FLORIDA LICENSE # AR0007073

**DATE:** 03/23/15  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.2.1.01**



**1 EAST ELEVATION-RENDERED**

NOTE:	
SIGN AT MAIN ENTRANCE (EAST ELEVATION)	= 170 S.F.
SIGN AT EAST ELEVATION	= 29 S.F.
SIGN AT WEST (STREET VIEW)	= 29 S.F.
<b>TOTAL</b>	<b>= 228 S.F.</b>

7/20/2015 12:31:31 PM C:\JHEVIT BACKUP\07.07.15\_DRC3 - WYNDHAM GARDEN\INK\_ARCHITECT.PLT

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 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
**NORTH ELEVATION**

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS.

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**DATE:** 03/23/15

**SCALE:** 1/8" = 1'-0"

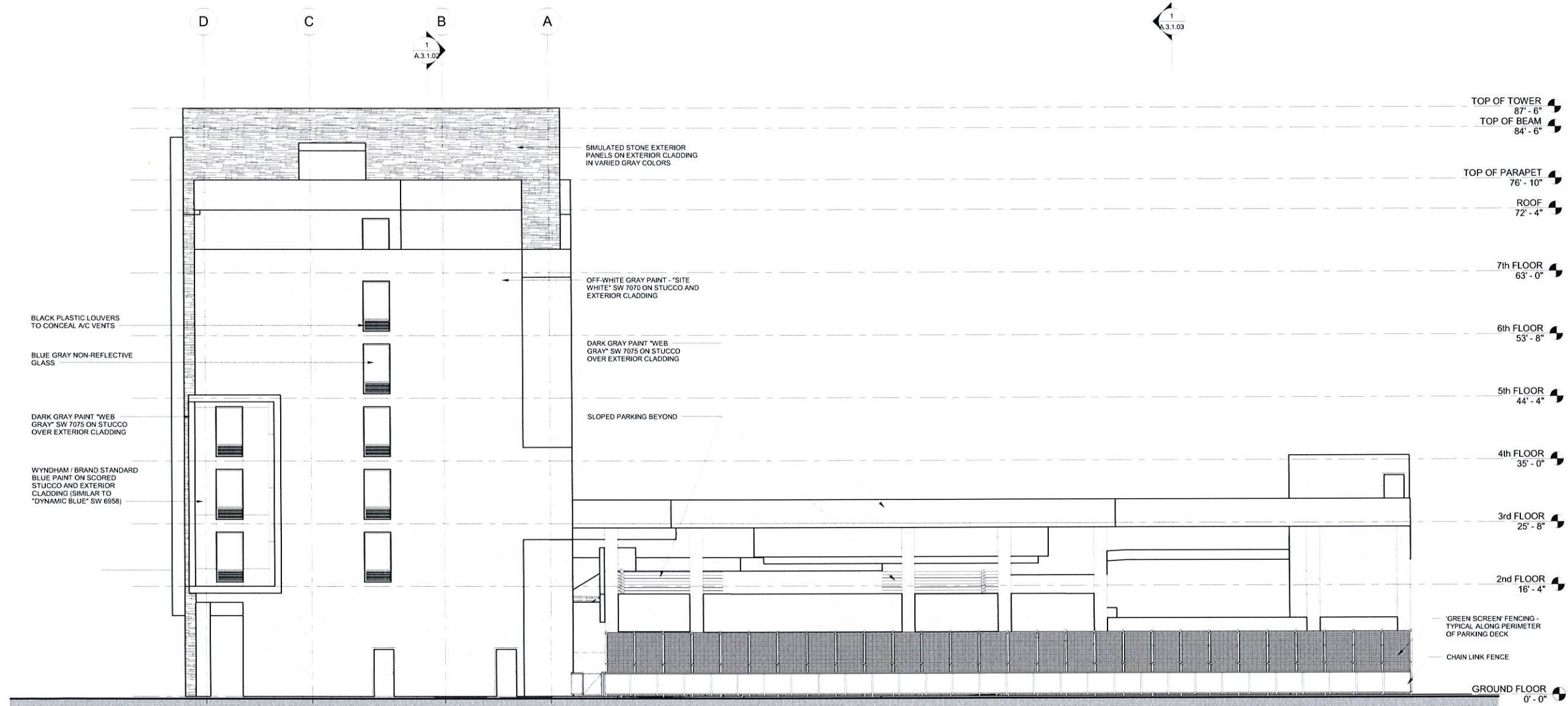
**DRAWN BY:** Author

**CHECKED BY:** Checker

**JOB NO.:** 44.07A

**SHEET NO.:**

**A.2.1.02**



1 NORTH ELEVATION - RENDERED

7/26/2015 12:31:32 PM C:\BENTLEY\BACH\15007.07.15.DWG 3 WYNDHAM GARDEN (N) 14.000000.DWG

**PROJECT DESIGN TEAM:**

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**PROJECT:** **WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

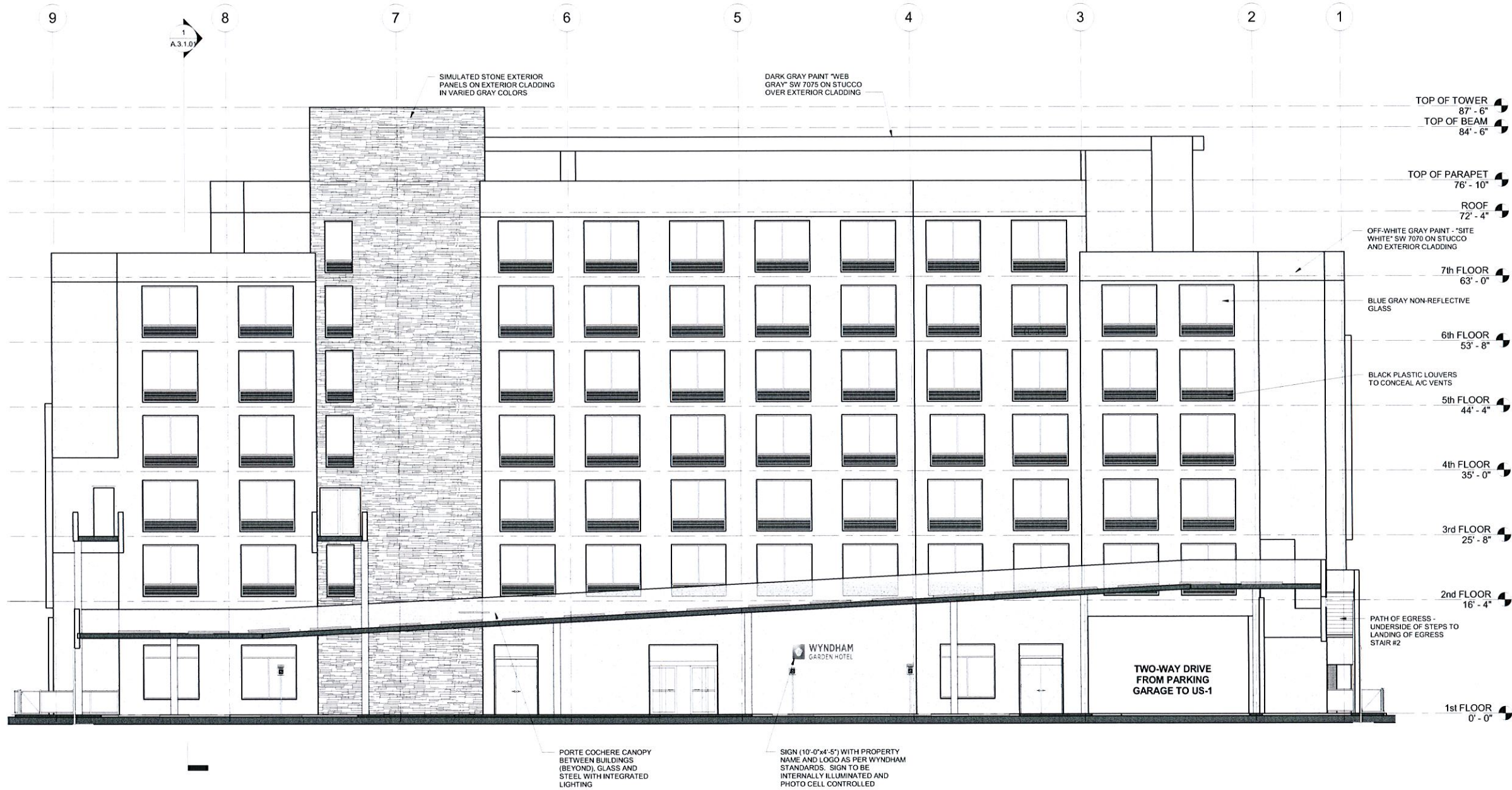
No.	DATE	REMARKS

**SHEET TITLE:**  
**WEST ELEVATION**

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. ALL RIGHTS RESERVED. © 2015  
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**DATE:** 03/23/15  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.2.1.03**



**1 WEST ELEVATION - RENDERED**

**NOTE:**

SIGN AT MAIN ENTRANCE (EAST ELEVATION)	= 170 S.F.
SIGN AT EAST ELEVATION	= 29 S.F.
SIGN AT WEST (STREET VIEW)	= 29 S.F.
<b>TOTAL</b>	<b>= 228 S.F.</b>

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**PROJECT:** WYNDHAM GARDEN  
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 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

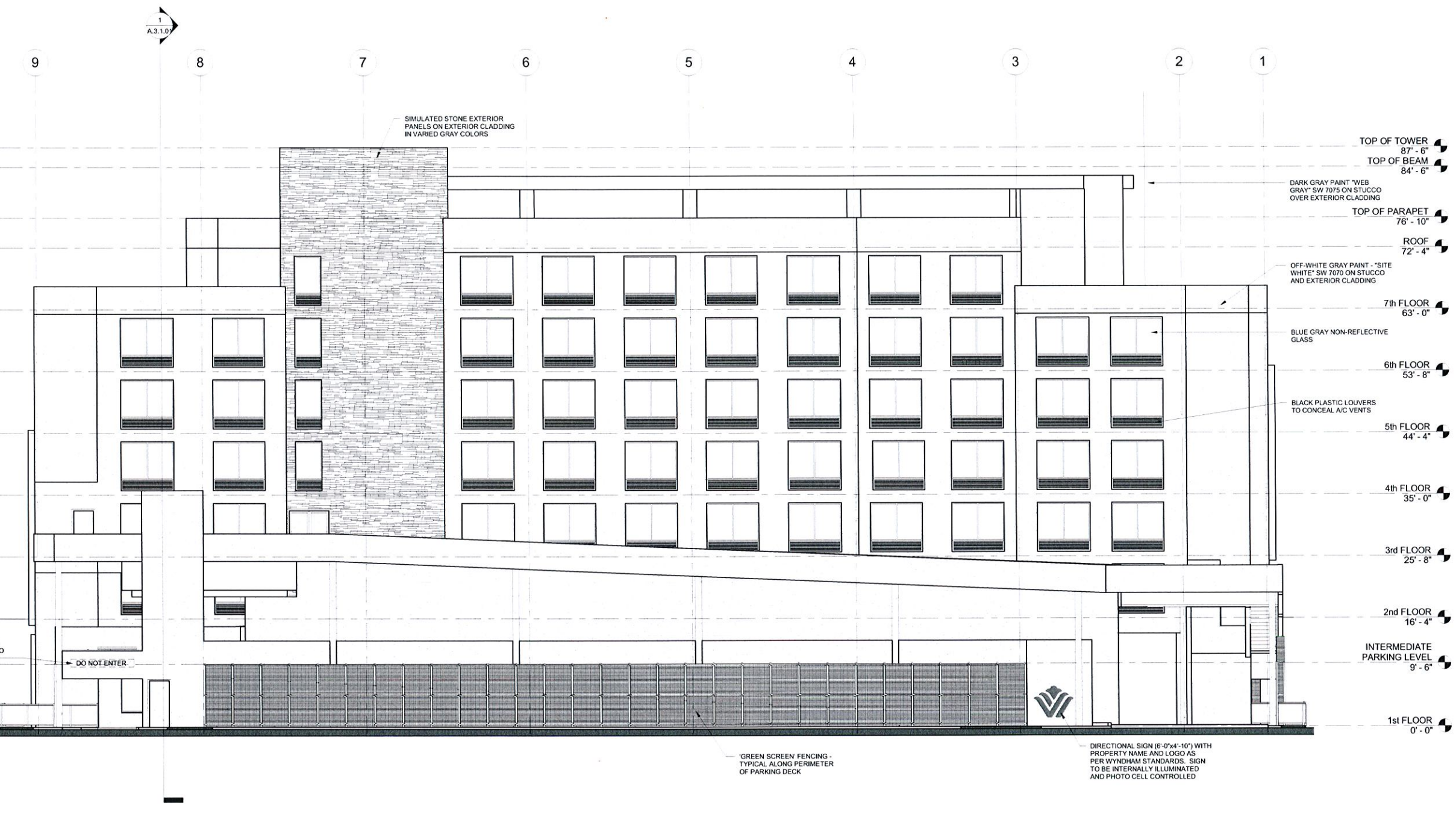
No.	DATE	REMARKS

**SHEET TITLE:** WEST ELEVATION (STREET VIEW)

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. ALL RIGHTS RESERVED, © 2015  
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**DATE:** 04/30/15  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:** A.2.1.03A



1 WEST ELEVATION (STREET VIEW) - RENDERED

**NOTE:**

SIGN AT MAIN ENTRANCE (EAST ELEVATION)	= 170 S.F.
SIGN AT EAST ELEVATION	= 29 S.F.
SIGN AT WEST (STREET VIEW)	= 29 S.F.
<b>TOTAL</b>	<b>= 228 S.F.</b>

7/20/2015 12:31:36 PM C:\REVIT BACKUP\07.07.15 DRG 1 - WYNDHAM GARDEN\101 - 101.dwg

**PROJECT DESIGN TEAM:**  
**ARCHITECTS**  
 ADACHE GROUP ARCHITECTS  
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**OWNER:** ADI GLOBAL  
 2028 HARRISON ST., SUITE #202  
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**PROJECT:** WYNDHAM GARDEN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

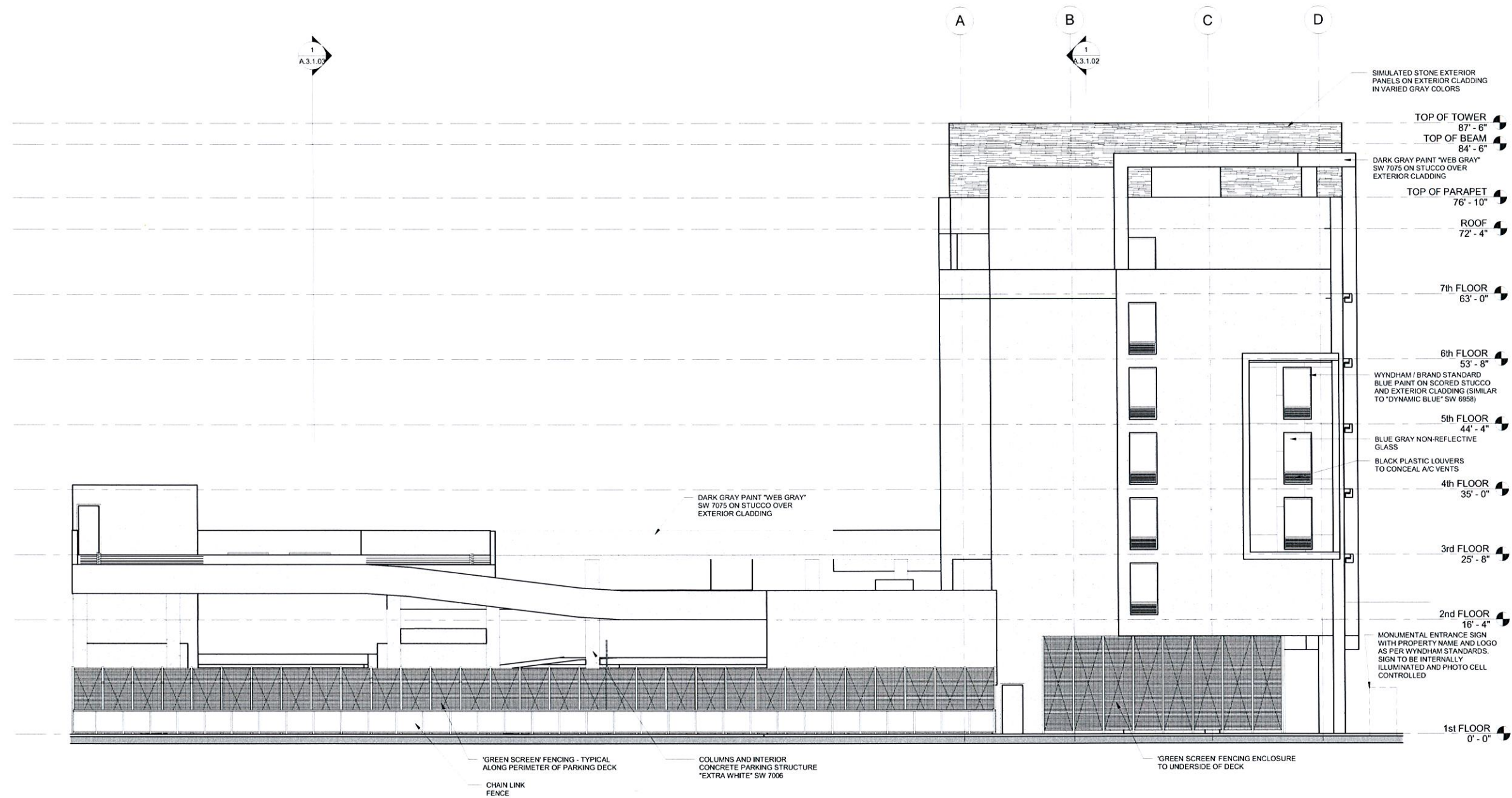
No.	DATE	REMARKS

**SHEET TITLE:**  
 SOUTH ELEVATION

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**DATE:** 03/23/15  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
 A.2.1.04



1 SOUTH ELEVATION - RENDERED

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1 PERSPECTIVE 1 - NORTHEAST



2 PERSPECTIVE 2 - NORTHWEST

# adache group architects

**PROJECT DESIGN TEAM:**  
**ARCHITECTS**  
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**OWNER:**  
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 HOLLYWOOD, FLORIDA 33020

**PROJECT:**  
  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

REVISIONS:		
No.	DATE	REMARKS

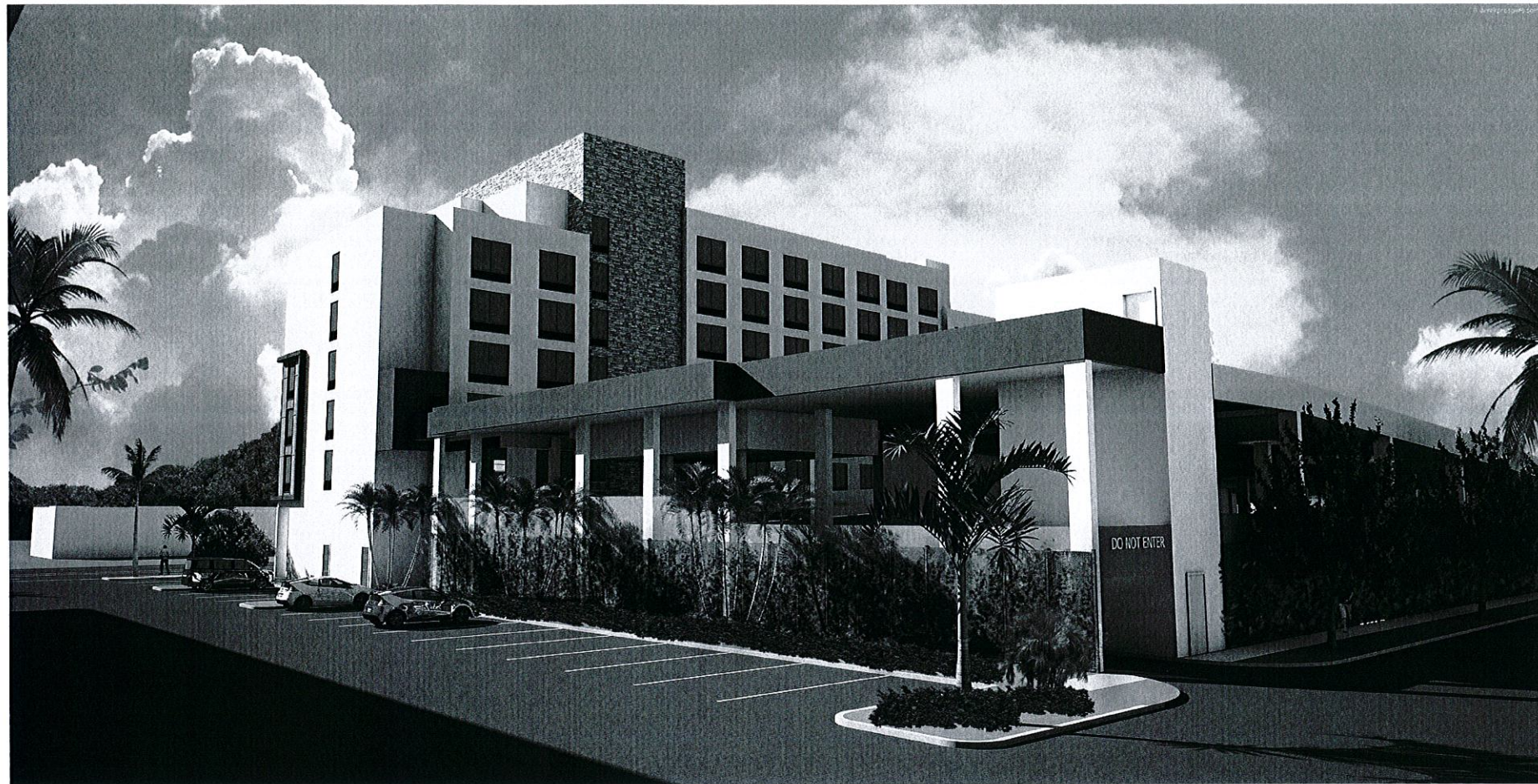
**SHEET TITLE:**  
 PERSPECTIVES

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. ALL RIGHTS RESERVED, © 2015  
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**DATE:** 04/16/15  
**SCALE:** 12" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
 A.2.2.01

7/8/2015 9:43:13 AM



1 PERSPECTIVE 3 - SOUTHWEST



2 PERSPECTIVE 4 - SOUTHEAST

# adache group architects

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**OWNER:** ADI GLOBAL  
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 HOLLYWOOD, FLORIDA 33020

**PROJECT:** WYNDHAM GARDEN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
 PERSPECTIVES

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF ADACHE GROUP ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. ALL RIGHTS RESERVED. © 2015  
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**SCALE:** 12" = 1'-0"  
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**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.2.2.02**

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**PROJECT DESIGN TEAM:**

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**OWNER:** **ADI GLOBAL**  
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 HOLLYWOOD, FLORIDA 33020

**PROJECT:** **WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
**SITE SECTION - PARKING AND PARKING EGRESS**

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**DATE:** 03/26/15

**SCALE:** 1/8" = 1'-0"

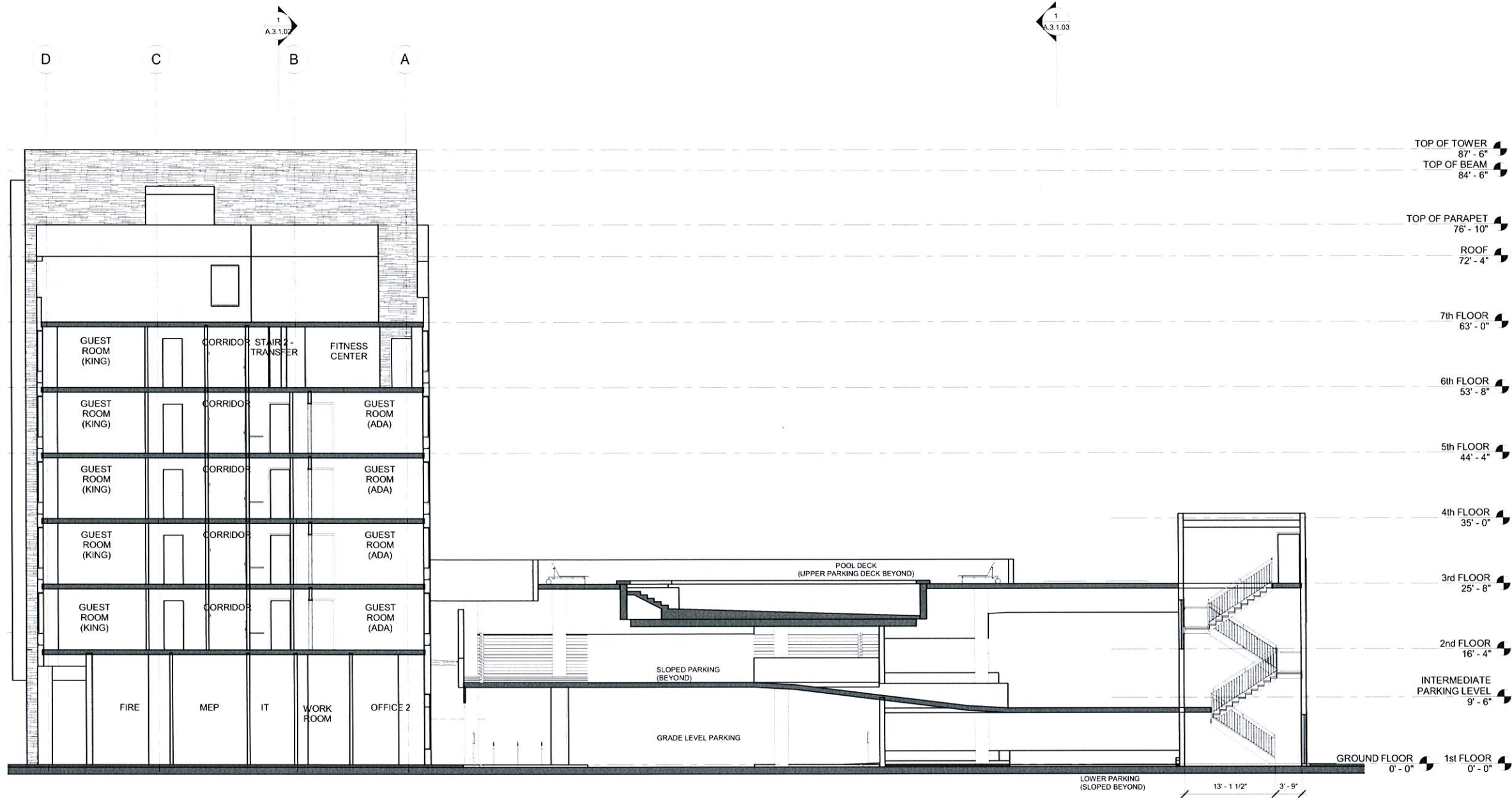
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**CHECKED BY:** Checker

**JOB NO.:** 44.07A

**SHEET NO.:**

**A.3.1.01**



**1 SITE SECTION - PARKING AND PARKING EGRESS**

7/6/2015 7:43:27 PM C:\Users\akumar\Documents\07.15.DWG 3 - WYNDHAM GARDEN RIN - skumar.rvt

**PROJECT DESIGN TEAM:**

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**OWNER:**

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 2028 HARRISON ST., SUITE #202  
 HOLLYWOOD, FLORIDA 33020

**PROJECT:**

**WYNDHAM GARDEN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**

**BUILDING SECTION - TRANSFER STAIR**

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**DATE:** 03/26/15  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**  
**A.3.1.02**



1 BUILDING SECTION - TRANSFER STAIR

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 7/8/2015 7:43:30 PM

**PROJECT DESIGN TEAM:**

**ARCHITECTS**  
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**OWNER:** ADI GLOBAL  
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**PROJECT:** WYNDHAM GARDEN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status

**DATE:** Issue Date

**REVISIONS:**

No.	DATE	REMARKS

**SHEET TITLE:**  
 SITE SECTION - POOL DECK & PARKING STRUCTURE

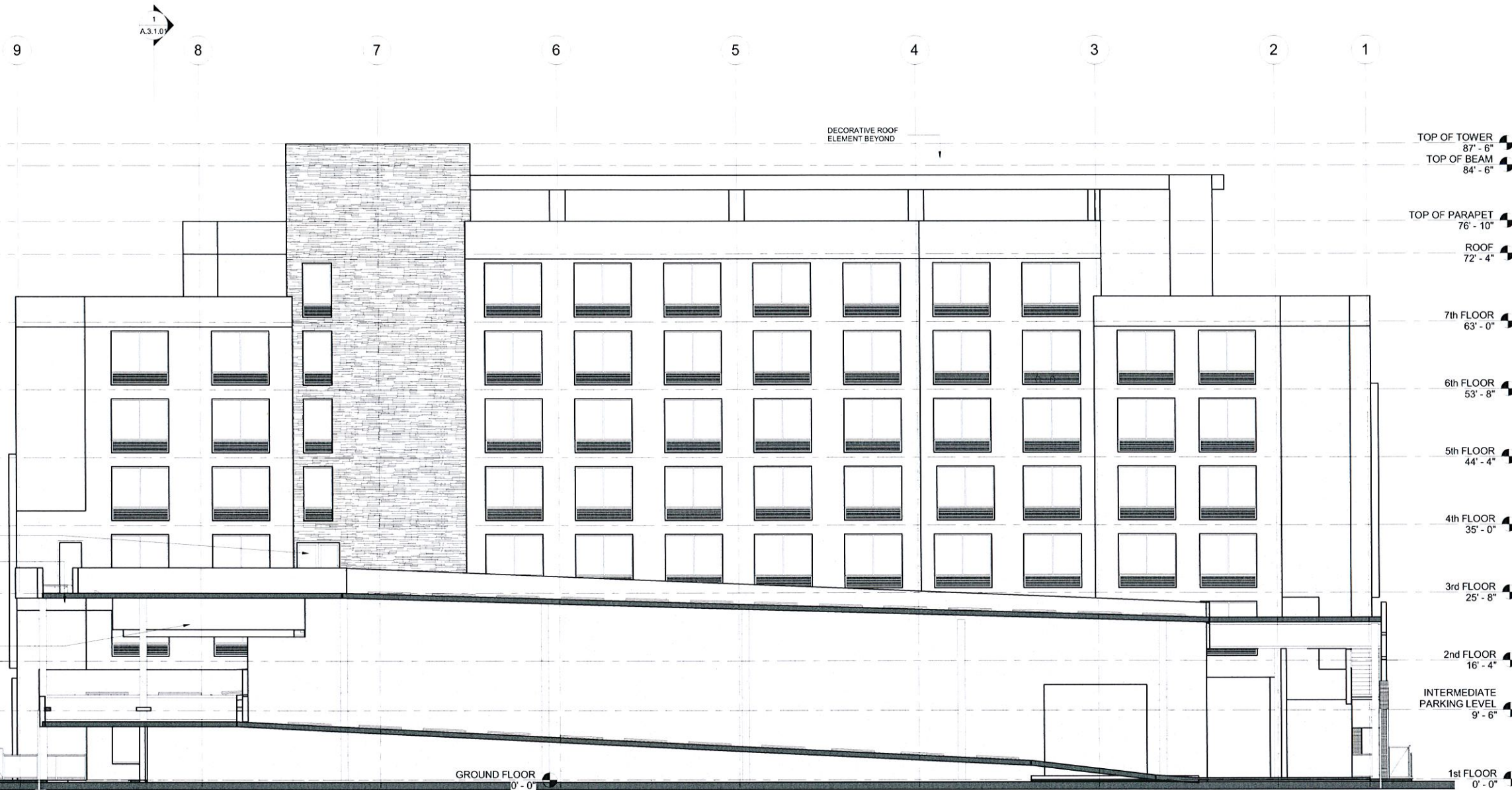
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**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**JOB NO.:** 44.07A

**SHEET NO.:**

**A.3.1.03**



**1** SITE SECTION - POOL DECK & PARKING STRUCTURE

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**PROJECT DESIGN TEAM:**  
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**OWNER:**  
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**PROJECT:**  
**WYNDHAM GARDEN INN**  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

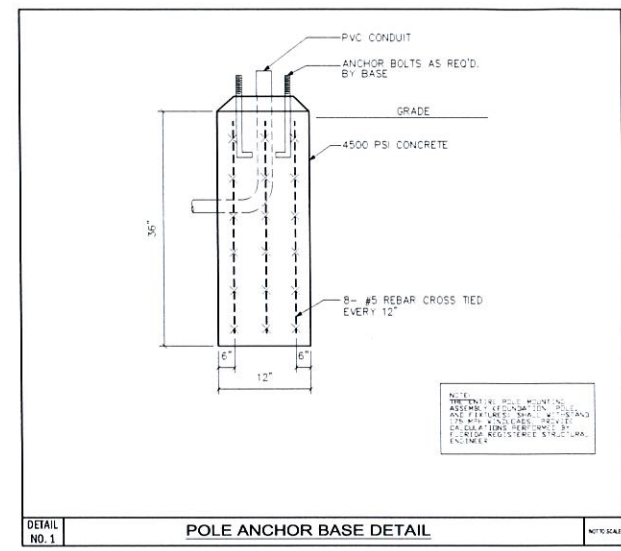
REVISIONS:		
No.	DATE	REMARKS
1	7/7/15	DRC

**SHEET TITLE:**  
**PHOTOMETRICS DETAILS, SPECS AND NOTES**

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**DATE:** 7/7/15  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** BT  
**CHECKED BY:** SR/DA  
**JOB NO.:** 15091

**SHEET NO.:**  
**SP0.1**



**DETAIL NO. 1 POLE ANCHOR BASE DETAIL**

- ### GENERAL ELECTRICAL NOTES
- DO NOT SCALE THE ELECTRICAL DRAWING REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFIRM WITH OWNERS REPRESENTATIVES
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2008 EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70), 2012 EDITION OF NFPA 72, 2003 EDITION OF NFPA 75, 2010 EDITION OF THE FIRE PREVENTION CODE INCLUDING 2009 EDITION OF NFPA 1 & NFPA 101, 2005 EDITION OF NFPA 105, AND 2010 EDITION OF IFBC
  - ALL COPPER CONDUCTORS SIZED #10 AND SMALLER SHALL BE PROVIDED WITH "THIN" INSULATION. COPPER CONDUCTORS LARGER THAN #10 SHALL HAVE "THIN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THIN" INSULATION. ALL ALUMINUM CONDUCTORS SHALL BE PROVIDED WITH "THIN-2" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE NEC
  - OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS. CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS
  - DISCONNECT SWITCHES SHALL BE HP RATED HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE
  - THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER
  - THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250 NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER
  - ALL MATERIALS SHALL BE NEW AND SHALL BEAR UL LABELS WHERE APPLICABLE
  - ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKSMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR
  - THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY AND TELEPHONE COMPANY
  - CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS
  - SEE NOTES ON PLANS FOR OTHER REQUIREMENTS
  - FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY OWNER
  - ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION
  - CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED
  - ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK
  - CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS
  - ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER/ARCHITECT
  - BASIS OF DESIGN FOR ALL CONDUCTORS IS COPPER. ALUMINUM MAY NOT BE USED WITHOUT APPROVAL FROM ENGINEER, OWNER AND ARCHITECT
  - ALL SYSTEMS AND ROUGH-IN SHALL BE CONCEALED IN FINISHED AREAS. COORDINATE WITH ARCHITECT
  - THE ELECTRICAL PORTION OF THE CONTRACT DOCUMENTS ARE COORDINATED WITH THE DESIGN BASIS EQUIPMENT SPECIFIED BY DIVISION 16 AND OTHER DIVISIONS. WHERE THE CONTRACTOR ELECTIONS TO SUBSTITUTE A PRODUCT IN LIEU OF PROVIDING THE DESIGN BASIS, AND SAID SUBSTITUTION IS ACCEPTED BY THE A/E AND OWNER, THE CONTRACTOR SHALL MAKE ALL CORRECTIONS TO THE ELECTRICAL SYSTEM NECESSARY IN ORDER TO ENSURE A COMPLETE AND OPERATIONAL INSTALLATION OF THE EQUIPMENT AT NO ADDITIONAL COSTS. WHERE THE CONTRACTOR'S DECISION TO SUBSTITUTE PRODUCTS OR MODIFY DESIGN REQUIRES A/E SERVICES, THE A/E RESERVES THE RIGHT TO REQUEST COMPENSATION FROM THE CONTRACTOR FOR SAID SERVICES

### PHOTOMETRIC SHEET INDEX

SHEET #	DESCRIPTION
SP0.1	PHOTOMETRY DETAILS, SPECS & NOTES
SP1.1	1ST FLOOR - HOTEL AND LOWER PARKING PHOTOMETRIC PLAN
SP1.2	2ND FLOOR & INTERMEDIATE PARKING PHOTOMETRIC PLAN
SP1.3	3RD FLOOR & UPPER PARKING PHOTOMETRIC PLAN

- ### SITE LIGHTING/PHOTOMETRIC NOTES
- COORDINATE AND VERIFY ALL SITE ELECTRICAL REQUIREMENTS WITH ARCHITECT PRIOR TO ANY CONSTRUCTION/INSTALLATION
  - THE COMPLETE SITE LIGHTING POLE MOUNTED ASSEMBLY MUST WITHSTAND A MINIMUM 15 MPH WIND. CADS CALCULATIONS AND FOUNDATION DESIGN BY CIVIL/STRUCTURAL ENGINEER
  - PROVIDE IN-LINE FUSES AT EACH POLE, ONE IN EACH HOT LEG
  - ALL SITE LIGHTING CONDUITS SHALL BE BURED AT A MINIMUM OF 24" BELOW FINISHED GRADE
  - ALL SITE LIGHTING SHALL BE PHOTOCELL CONTROLLED UNLESS SPECIFIED OTHERWISE

### SITE POLE NOTE

SITE POLE STRUCTURAL DETAILS ARE TO BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.

### EVERGREEN LIGHTING LED

**DESCRIPTION:** EVERGREEN LIGHTING LED...  
**EVERGREEN LIGHTING LED**  
 EVERGREEN LIGHTING LED...  
**ORDERING INFORMATION:** EVERGREEN LIGHTING LED...  
**LIGHTING FIXTURE TYPE "GF"**

### CIMARRON LED

**DESCRIPTION:** CIMARRON LED...  
**CIMARRON LED**  
 CIMARRON LED...  
**ORDERING INFORMATION:** CIMARRON LED...  
**LIGHTING FIXTURE TYPE "GD"**

### VividSol >LED Flood Lighting

**LED Features:**  
 • Artemis Radiation CREE LEDs from 30W to 170W  
 • Up to 80% energy savings over traditional lamps  
 • Optimized design considering maximum light output  
 • Neutral lighting lab tested with IES standards  
 • Type I, Type II, Type III or Type IV distribution  
 • Solid State with high-shock and vibration resistance  
 • Patented heat dissipation design for optimal efficiency  
 • Instant on and off without delay  
 • Die-cast aluminum housing with custom colors  
 • Modular design - Can replace LED module if failure  
 • High CRI - RA-75 enhances all original colors  
 • Philips Medium Class 1 0-10V Dimming Power Supply  
 • Smart power supply automatically adjusts consumption  
 • Photocell and motion sensor capable  
 • Contains no mercury or lead and cool to the touch  
 • No infrared or UV radiation - Radiationless  
 • 50,000 hour LED life (12 hrs/day - 11+ years)  
 • 5 year warranty on fixture and components  
 • UL Listed E340511 - IP65 outdoor rated  
**Models:**  
 • VVDBP014 30W - 2655mm - 7"(L) x 13"(W) x 5"(D) - 12.3 lbs  
 • VVDBP028 60W - 5330mm - 10"(L) x 13"(W) x 5"(D) - 13.5 lbs  
 • VVDBP042 90W - 7995mm - 12"(L) x 13"(W) x 5"(D) - 14.8 lbs  
 • VVDBP056 120W - 10660mm - 14"(L) x 13"(W) x 5"(D) - 15.9 lbs  
 • VVDBP070 147W - 13325mm - 17"(L) x 13"(W) x 5"(D) - 17.4 lbs  
 • VVDBP084 180W - 15990mm - 19"(L) x 13"(W) x 5"(D) - 18.8 lbs  
 • VVDBP098 210W - 18655mm - 22"(L) x 13"(W) x 5"(D) - 19.8 lbs  
 • VVDBP112 240W - 21320mm - 24"(L) x 13"(W) x 5"(D) - 21.5 lbs  
 • VVDBP126 270W - 23985mm - 27"(L) x 13"(W) x 5"(D) - 23.1 lbs  
**Ordering:**  
 Part # Color Temp Lens Type Voltage Case Color Mounting  
 VVDBP014 W 2700 300K T3 T3 Lens V27 120-277V BK Black WH Roll  
 VVDBP028 R 3000 600K T4 T4 Lens V48 120-277V BK Black WH Roll  
 VVDBP042 P 4700 3300K A2 A2 Lens B12 12V 150W WP White PH Roll  
 VVDBP056 C 1500 5300K A3 A3 Lens B12 12V 150W BR Brown PH Roll  
 VVDBP070 R 4700 3300K A3 A3 Lens B12 12V 150W CS Custom PH Roll  
 VVDBP098 G Green V Yellow  
 VVDBP112 G Green V Yellow  
 VVDBP126 B Blue V Yellow  
**Ordering Example:** VVDBP014 A T3 V27-BK-TM  
**Lighting Fixture Type "GB/GC"**

### ARCEOS ARS SERIES

**DESCRIPTION:** ARCEOS ARS SERIES...  
**ARCEOS ARS SERIES**  
 ARCEOS ARS SERIES...  
**ORDERING INFORMATION:** ARCEOS ARS SERIES...  
**LIGHTING FIXTURE TYPE "GA"**

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**DRC SET: 07/07/15**

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700 WEST HILLSBORO BLVD. - BLDG. #1, SUITE 204  
 DEERFIELD BEACH, FLORIDA 33441  
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 DONALD H. AUSTIN, JR., PE LICENSE # 60651  
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 DESIGNED BY: BT PM: DR P/N: 15091

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**OWNER:**  
 ADI GLOBAL  
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 HOLLYWOOD, FLORIDA 33020

**PROJECT:**  
 WYNDHAM GARDEN INN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

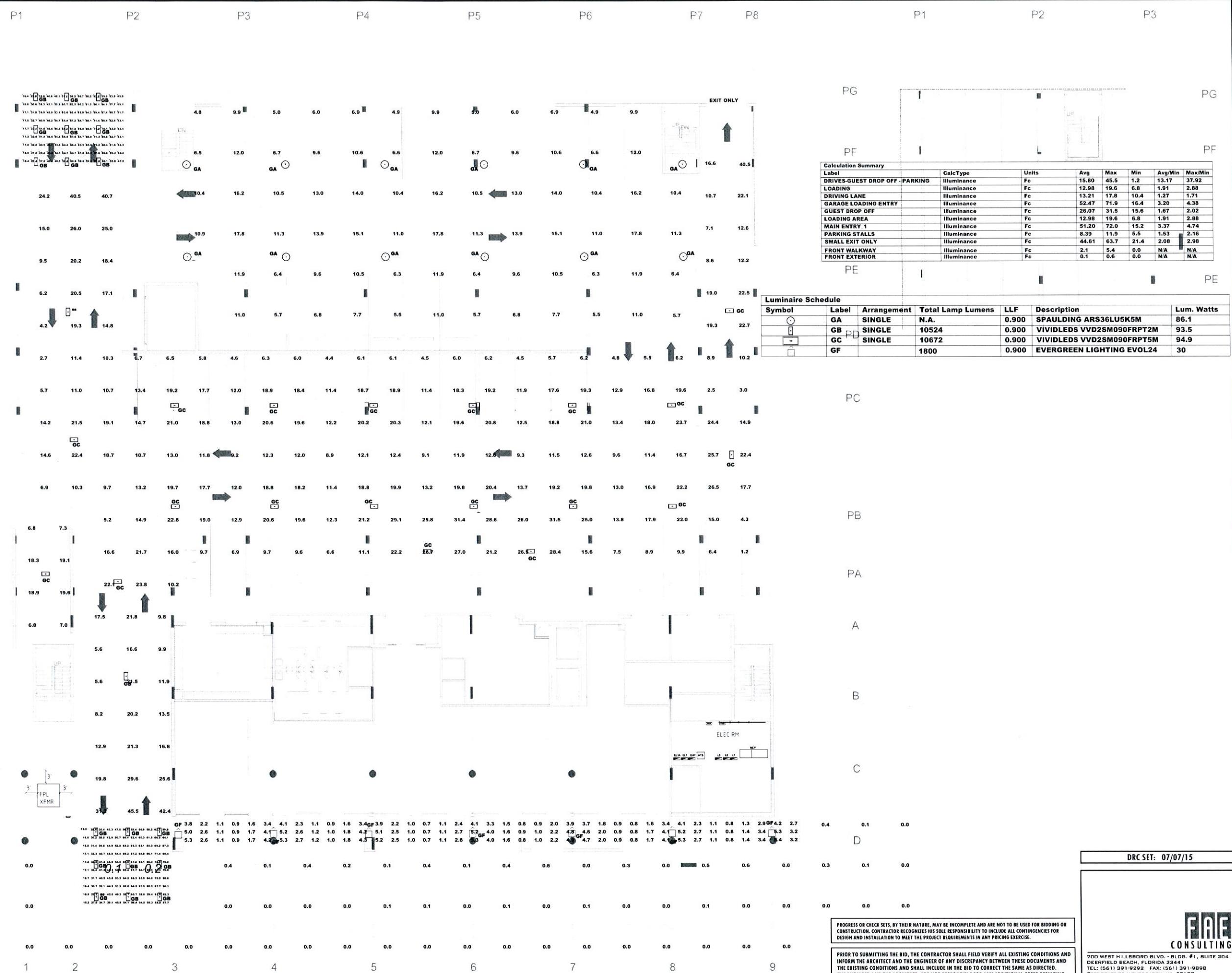
REVISIONS:	
No.	REMARKS
7/7/15	DRC

**SHEET TITLE:**  
 1st FLOOR - HOTEL & LOWER  
 PARKING PHOTOMETRIC PLAN

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**DATE:** 7/7/15  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** BT  
**CHECKED BY:** SR/DA  
**JOB NO.:** 15091

**SHEET NO.:**  
 SP1.1



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVES-GUEST DROP OFF - PARKING	Illuminance	Fc	15.80	45.5	1.2	13.17	37.92
LOADING	Illuminance	Fc	12.98	19.6	6.8	1.91	2.88
DRIVING LANE	Illuminance	Fc	13.21	17.8	10.4	1.27	1.71
GARAGE LOADING ENTRY	Illuminance	Fc	52.47	71.9	16.4	3.20	4.38
GUEST DROP OFF	Illuminance	Fc	26.07	31.5	15.6	1.67	2.02
LOADING AREA	Illuminance	Fc	12.98	19.6	6.8	1.91	2.88
MAIN ENTRY 1	Illuminance	Fc	51.20	72.0	15.2	3.37	4.74
PARKING STALLS	Illuminance	Fc	8.39	11.9	5.5	1.53	2.16
SMALL EXIT ONLY	Illuminance	Fc	44.61	63.7	21.4	2.08	2.98
FRONT WALKWAY	Illuminance	Fc	2.1	5.4	0.0	N/A	N/A
FRONT EXTERIOR	Illuminance	Fc	0.1	0.6	0.0	N/A	N/A

Symbol	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
○	GA	SINGLE	N.A.	0.900	SPAULDING ARS36LU5K5M	86.1
□	GB	SINGLE	10524	0.900	VIVIDLEDS VVD2SM090FRPT2M	93.5
□	GC	SINGLE	10672	0.900	VIVIDLEDS VVD2SM090FRPT5M	94.9
□	GF		1800	0.900	EVERGREEN LIGHTING EVOL24	30

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DRC SET: 07/07/15



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 DESIGNED BY: BT P.M. DR P/N: 15091

1st FLOOR - HOTEL AND LOWER PARKING PHOTOMETRIC PLAN  
 3/32" = 1'-0"

P1

P2

P3

P4

P5

P6

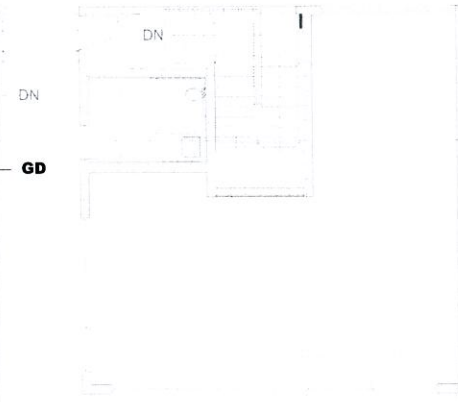
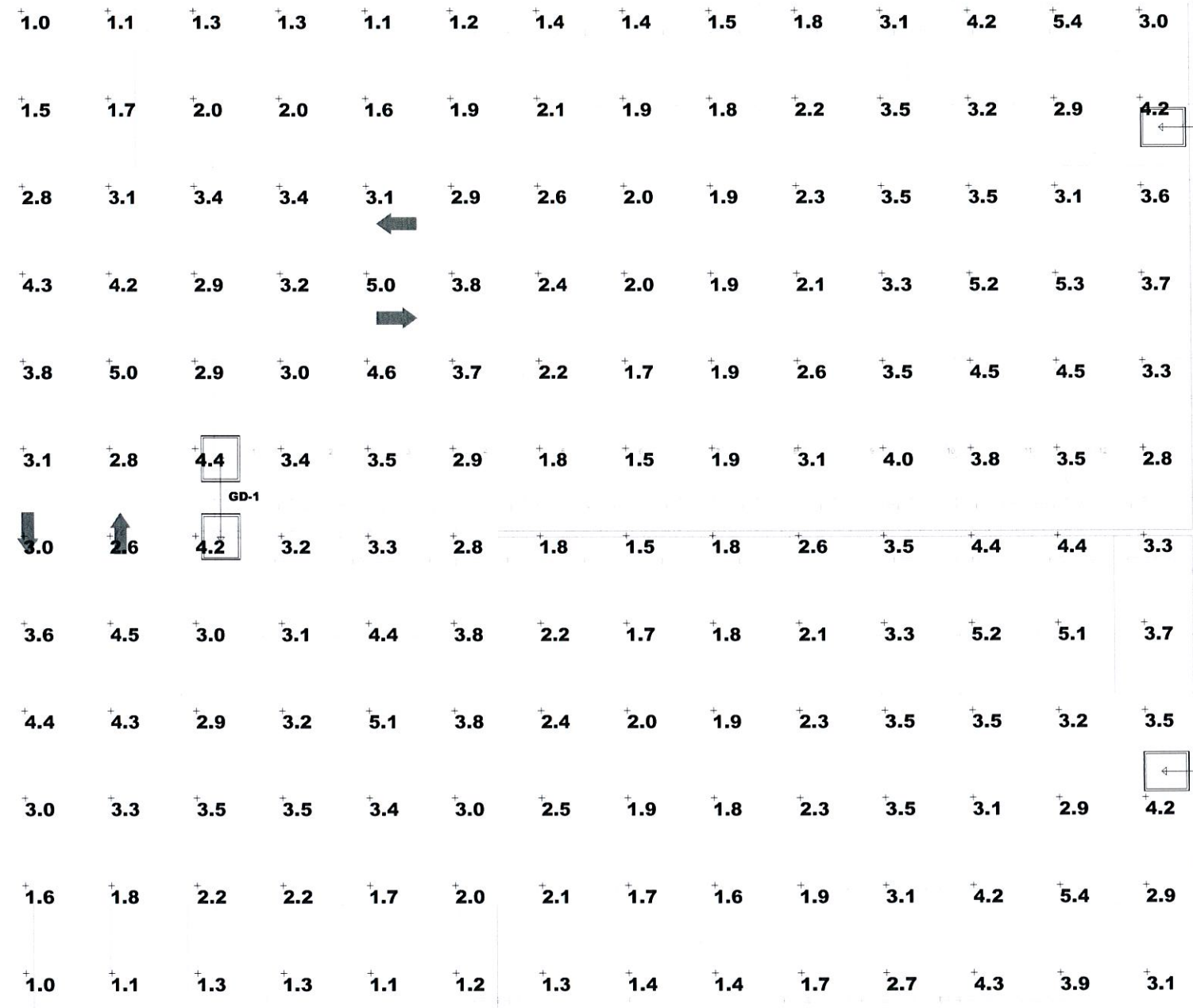
P7

P8

Luminaire Schedule		Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
Symbol	Qty	GD	SINGLE	N.A.	0.900	SPAULDING CL1-x-90L-1-4K-4-105-BC STEEL POLE MTD. - 20' A.D.	341.1
	2						
	1	GD-1	BACK-BACK	N.A.	0.900	SPAULDING TWIN CL1-x-90L-1-4K-4-105-BC STEEL POLE MTD. - 20' A.D.	341.1

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
UPPER LEVEL DRIVES & PARKING	Illuminance	Fc	2.86	5.4	1.0	2.86	5.40



PG

PF

PE

PD

PC

PB

PA

1 3rd FLOOR & UPPER PARKING PHOTOMETRIC PLAN  
3/32" = 1'-0"



**PROJECT DESIGN TEAM:**  
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**OWNER:**  
 ADI GLOBAL  
 2028 HARRISON ST., SUITE #202  
 HOLLYWOOD, FLORIDA 33020

**PROJECT:**  
 WYNDHAM GARDEN INN  
 129 NORTH FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA 33034

**SEAL:**

**ISSUED FOR:** Project Status  
**DATE:** Issue Date

REVISIONS:		
No.	DATE	REMARKS
	7/7/15	DRC

**SHEET TITLE:**  
 3rd FLOOR PARKING  
 PHOTOMETRIC PLAN

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**JOB NO.:** 15091

**SHEET NO.:**  
 SP1.3

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**FAE CONSULTING**

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